

**PLANNING COMMISSION MEETING
TUESDAY, OCTOBER 8, 2024 6:00 P.M.
COUNCIL CHAMBERS
40 W MAIN ST, NEWARK, OH 43055**

AGENDA

- 1. CALL TO ORDER**
- 2. APPROVAL OF MINUTES FOR THE SEPTEMBER 10, 2024 PLANNING COMMISSION MEETING**

OLD BUSINESS

3. RECOMMENDATION FOR 1845 W. MAIN ST., NEWARK, OHIO

Application Number : PC-24-30
Owner: 1845 W. Main Street, LLC
Applicant: Brandon Hess
Current Zoning: GB – General Business District
Proposed Zoning: LI – Limited Industrial District

4. RECOMMENDATION FOR 2236 RIVER RD., NEWARK, OHIO

Application Number : PC-24-31
Owner: John R. Lindsey
Applicant: Thomas O'Brien
Current Zoning: MFC – Multi-Family Condo District
Proposed Zoning: MFR – Multi-Family Residence District

NEW BUSINESS

5. SITE PLAN REVIEW PC-24-47 – Site Plan Review for new warehouse – office building for North Central Insulation, 995 Brice Street

Application Number : PC-24-47

Owner: 5542 Columbus Pike Ltd, 7539 State Route 13, Belleville, OH 44813

Applicant: McCarty Associates, LLC – Garrett Spargur, 213 North High Street, Hillsboro, OH 45133

Architect: McCarty Associates, LLC – Dallas Puckett, 213 North High Street, Hillsboro, OH 45133

6. Final Plat Review for PC-24-48 – Willow Bend Subdivision, Phase 2

Application Number : PC-24-48

Owner: Rockford Homes, 999 Polaris Parkway, Suite 200, Columbus, OH 43240 - Justin Lowe

Engineer: ADR & Associates, 88 West Church St, Newark, OH 43055 - Brian Wood

MISCELLANEOUS – ADMINISTRATIVE APPROVALS

There are none this meeting.

THE NEXT SCHEDULED PLANNING COMMISSION MEETING WILL BE HELD ON TUESDAY, NOVEMBER 12, 2024, 6:00 P.M. THE DEADLINE FOR AGENDA ITEM SUBMITTAL IS MONDAY, OCTOBER 21, 2024 4:30 P.M.

ORDINANCE NO. 24-26

BY: 

AN ORDINANCE CHANGING THE ZONING CLASSIFICATION OF CERTAIN REAL PROPERTY, GENERALLY DESCRIBED AS 1845 WEST MAIN STREET, CITY OF NEWARK, LICKING COUNTY, OHIO, PARCEL TAX ID #054-218160-00.000 FROM THAT OF GB – GENERAL BUSINESS ZONING DISTRICT TO LI – LIMITED INDUSTRIAL ZONING DISTRICT, ZONING CODE OF THE CITY OF NEWARK, OHIO.

WHEREAS, an application for zoning classification has been filed with Council; and

WHEREAS, pursuant to Article 4.12 of the Charter of the City of Newark, Ohio, this ordinance shall be referred to the Planning Commission immediately after its first reading; and

WHEREAS, the Planning Commission shall hold a public hearing upon such application and the Clerk of Council shall cause notice of such hearing to be publicized one time at least seven (7) days prior to the date of such public hearing; and

WHEREAS, upon the return of the ordinance to Council by the Planning Commission, council shall cause a second reading to be made of this ordinance and shall take such action as is appropriate pursuant to Article 4.12 of the Charter of the City of Newark, Ohio.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF NEWARK, COUNTY OF LICKING, AND STATE OF OHIO, THAT:

Section 1: The zoning map as established by Ordinance 08-33 (A) is hereby revised by changing the zoning classification for the following described property from GB – GENERAL BUSINESS ZONING DISTRICT TO LI – LIMITED INDUSTRIAL ZONING DISTRICT, Zoning Code of the City of Newark.

SEE EXHIBIT “A” FOR LEGAL DESCRIPTION

Section 2: Pursuant to Article 4.12(C) of the Charter of the City of Newark, Ohio, a vote of at least six (6) members shall be necessary to adopt or defeat the ordinance in the event the Planning Commission has recommended approval or has made no recommendation. An affirmative vote of at least seven (7) Council members shall be necessary to adopt a zoning ordinance that the Planning Commission has recommended against approval.

Section 3: The Newark Planning Commission is hereby authorized and directed to make the change described herein on the aforementioned zoning map.

Section 4: This ordinance shall become effective at the earliest time permitted by Section 4.07 of the Charter of the City of Newark, Ohio.

Passed this _____ day of _____, 20____.

PRESIDENT OF COUNCIL

ATTEST: _____
Clerk of Council

DATE FILED WITH MAYOR: _____

DATE APPROVED BY MAYOR: _____

MAYOR

FORM APPROVED: 
Director of Law

DESCRIPTION APPROVED: _____
Brian Morehead, Engineer

Prepared by the Office of the Director of Law



Planning Commission
c/o Engineering Dept.
40 West Main St, 2nd Floor
Newark, Ohio 43055
(740) 670-7727
(740)349-5911 Fax

City of Newark
Planning Commission
Zoning District Change Application

Zoning File # _____
PC Application # PC24-30
Date Received: 6-24-14
Received by: R. Kemp
Amount Due: \$300.00
Paid By: (circle one)
Check # 2227 Cash _____
Receipt # 162931

CITY OF NEWARK, OHIO | PLANNING COMMISSION

Rev 8/13

<input checked="" type="checkbox"/> District Change		<input type="checkbox"/> District Establishment (Newly Annexed)	
Owner			
Property Owner: 1845 W Main Street, LLC		Telephone: 740-819-2673	
Address: 1471 Granville Road		E-mail: bhess@shai-hess.com	
City: Newark	State: OH	Zip: 43055	Fax:
<i>I would prefer to have agendas mailed rather than e-mailed</i> <input type="checkbox"/>			
Applicant/Representative			
Representative: Brandon Hess		Same as above <input checked="" type="checkbox"/>	Telephone: (740) 819-2673
Address: 1471 Granville Road		E-mail: bhess@shai-hess.com	
City: Newark	State: OH	Zip: 43055	Fax:
<i>I would prefer to have agendas mailed rather than e-mailed</i> <input type="checkbox"/>			
Property Location			
Street Address: 1845 W. Main Street, Newark, OH 43055			
Parcel Tax ID #: 054-218160-00.000		Number of Acres: 3.998	
Lot Number: (if applicable)		Property Platted? Yes <input type="checkbox"/> No <input type="checkbox"/>	
District Classification (Zoning Code 08-33, see www.newarkohio.net)			
Present Zoning District:		Proposed Zoning District:	
<input type="checkbox"/> AD Agricultural		<input type="checkbox"/> AD Agricultural	
<input type="checkbox"/> CD Conservation		<input type="checkbox"/> CD Conservation	
<input type="checkbox"/> CSI Church School Institutional		<input type="checkbox"/> CSI Church School Institutional	
<input type="checkbox"/> DC Downtown		<input type="checkbox"/> DC Downtown	
<input checked="" type="checkbox"/> GB General Business		<input type="checkbox"/> GB General Business	
<input type="checkbox"/> GC General Commercial		<input type="checkbox"/> GC General Commercial	
<input type="checkbox"/> GI General Industrial		<input type="checkbox"/> GI General Industrial	
<input type="checkbox"/> GO General Office		<input type="checkbox"/> GO General Office	
<input type="checkbox"/> HB High Intensity Business		<input type="checkbox"/> HB High Intensity Business	
<input type="checkbox"/> LB Limited Intensity Business		<input type="checkbox"/> LB Limited Intensity Business	
<input type="checkbox"/> LC Limited Commercial		<input type="checkbox"/> LC Limited Commercial	
<input type="checkbox"/> LI Limited Industrial		<input checked="" type="checkbox"/> LI Limited Industrial	
<input type="checkbox"/> LO Limited Office		<input type="checkbox"/> LO Limited Office	
<input type="checkbox"/> MB Medium Intensity Business		<input type="checkbox"/> MB Medium Intensity Business	
<input type="checkbox"/> MFC Multi-Family Condo		<input type="checkbox"/> MFC Multi-Family Condo	
<input type="checkbox"/> MFH Multi-Family High Rise		<input type="checkbox"/> MFH Multi-Family High Rise	
<input type="checkbox"/> MFR Multi-Family Residence		<input type="checkbox"/> MFR Multi-Family Residence	
<input type="checkbox"/> Overlay Historic		<input type="checkbox"/> Overlay Historic	
<input type="checkbox"/> Planned Unit Development		<input type="checkbox"/> Planned Unit Development	
<input type="checkbox"/> RMH Single-Family Residence Manufactured Home		<input type="checkbox"/> RMH Single-Family Residence Manufactured Home	
<input type="checkbox"/> Single-Family Residence (Circle one)		<input type="checkbox"/> Single-Family Residence (Circle one)	
RS-Suburban RL-Low Density RM-Medium Density RH-High Density		RS-Suburban RL-Low Density RM-Medium Density RH-High Density	
<input type="checkbox"/> RZL Single-Family Residence Zero Lot Line		<input type="checkbox"/> RZL Single-Family Residence Zero Lot Line	
<input type="checkbox"/> SFC Single-Family Condo		<input type="checkbox"/> SFC Single-Family Condo	
<input type="checkbox"/> TFR Two-Family Residence		<input type="checkbox"/> TFR Two-Family Residence	

Property Use**Present Use:**

Athletic training facility/Volleyball specific

Proposed Use:

Light industrial/warehousing

Additional Comments

Reason For Request: Property can be better utilized with a different use to potentially create more jobs.

Required Documentation and Process Overview

- ☐ **Complete Application Form** – must include the notarized signature of the property owner. If a notarized signature is not present, attach an Authorization Letter from the property owner, giving the Representative permission to act on his/her behalf.
- ☐ **Obtain a Tax Map and Auditor's Parcel Numbers of the parcels to be re-zoned**
Note: Tax Maps can be provided by the Engineering Department during the Engineering Review.
- ☐ **Obtain a Legal Description of parcels to be re-zoned.** (typically a survey description or valid deed description)
Note: Legal Description must be reviewed and stamped approved during the Engineering Review.
- ☐ **Obtain a Parcel Drawing or Map showing the location of all buildings on the parcels**
Note: Aerial maps can be provided by the Engineering Department during the Engineering Review.
- ☐ **Call the Newark City Engineering Department to schedule an Engineering Review**
Newark City Engineering Department - 40 W. Main Street (2nd Floor). (740) 670-7727
Note: The Engineering/ Zoning Authorization Signature must be obtained prior to Application processing-See Office Use below.
- ☐ **Submit Application and required documentation**
Newark City Engineering Department - 40 W. Main Street (2nd Floor)
Note: A \$300 Application Fee must accompany this Application. Make check payable to "City of Newark".
- ☐ **Attend the Planning Commission Meetings and Council Meetings**
Newark City Council Chambers, 40 W. Main Street (1st Floor).
Note: be prepared to answer Planning Commission and Council Members' questions regarding your application

Owner Acknowledgement

I hereby certify that the information provided in this application is true and factual to the best of my

KAREN R MATHIS
Notary Public

Date: 6/21/2024

and subscribed before me this 21 day of June, 2024

My Commission Expires: August 5, 2024

Notary Public

Engineering/Zoning Authorization – Office Use OnlyApproved ☐Denied ☐Approved with Conditions ☐

Engineering Signature: _____ Date: _____

Comments/Conditions: _____

Planning Commission Recommendation to Council – Office Use OnlyApproved ☐Denied ☐Approved with Conditions ☐

Planning Director Signature: _____ Date: _____

Conditions: _____

After Planning Commission Recommendation:

- ☐ **Contact the Clerk of Council** regarding Council Public Hearing and Final Vote dates.
Clerk of Council's Office 40 W Main St (2nd Floor-Mayor's Office) (740) 670-7516.

Property Use**Present Use:**

Athletic training facility/Volleyball specific

Proposed Use:

Light industrial/warehousing

Additional Comments

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Owner Acknowledgement

I hereby certify that the information provided in this application is true and factual to the best of my

KAREN R MATHIS

Notary Public

MY COMMISSION EXPIRES 08/05/24

and subscribed before me this 21 day of June, 2024My Commission Expires: August 5, 2024

Notary Public

Engineering/Zoning Authorization – Office Use OnlyApproved ☒Denied ☐Approved with Conditions ☐Engineering Signature: [Signature]Date: 7/5/2024Comments/Conditions: DESCRIPTION APPROVED FOR ZONING PURPOSES**Planning Commission Recommendation to Council – Office Use Only**Approved ☐Denied ☐Approved with Conditions ☐

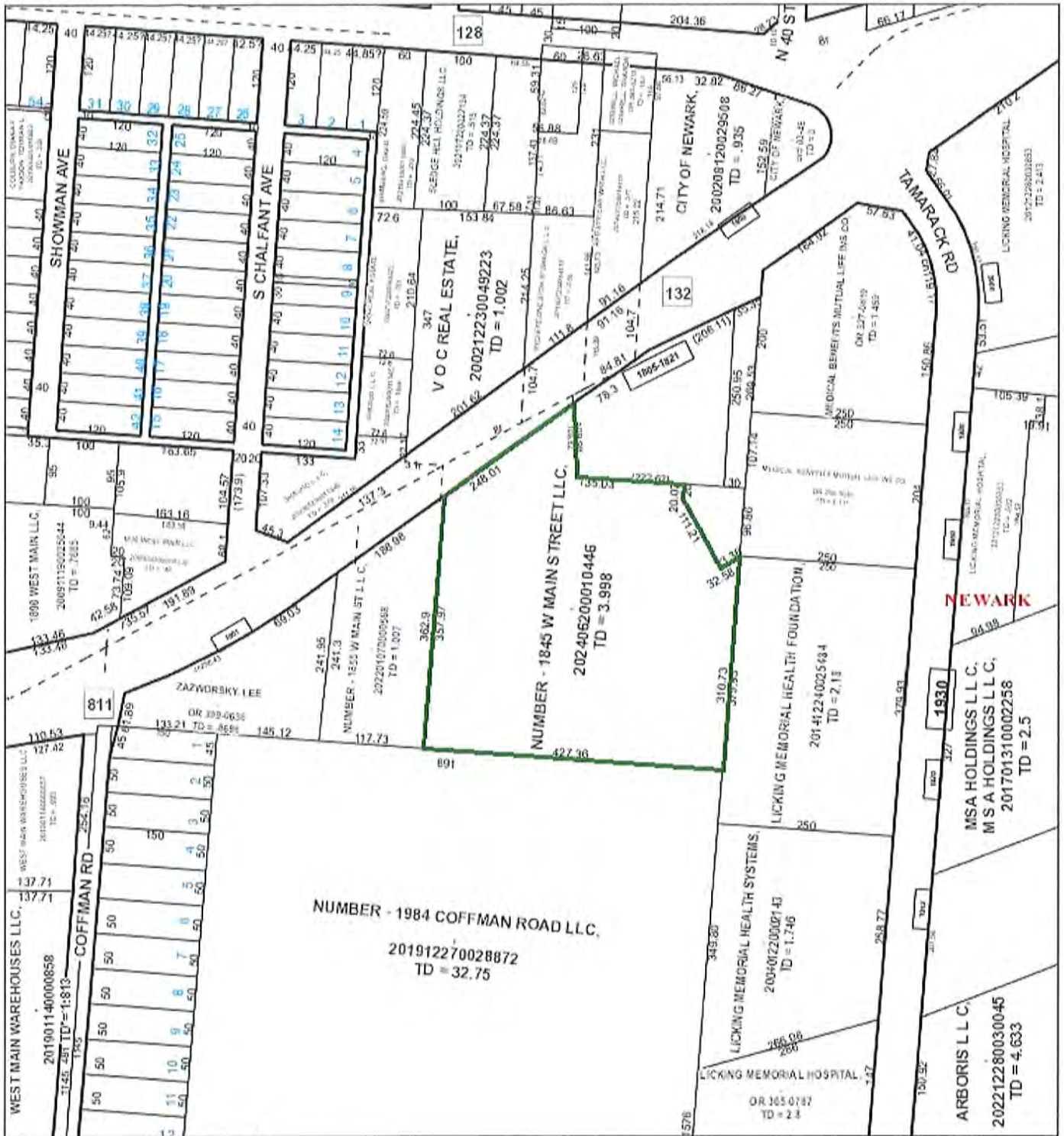
Planning Director Signature: _____

Date: _____

Conditions: _____

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Property Report

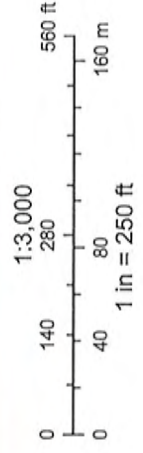
Address		
N/A NUMBER - 1845 W MAIN STREET LLC -- 1845 W MAIN ST		
Engineer's Pin	Owner	Auditor's PIN
02130992000000014000	N/A NUMBER - 1845 W MAIN STREET LLC	05421810-00.000
Tax Acreage	Deed Acreage	Official Record
3.998	3.998	202406200010446

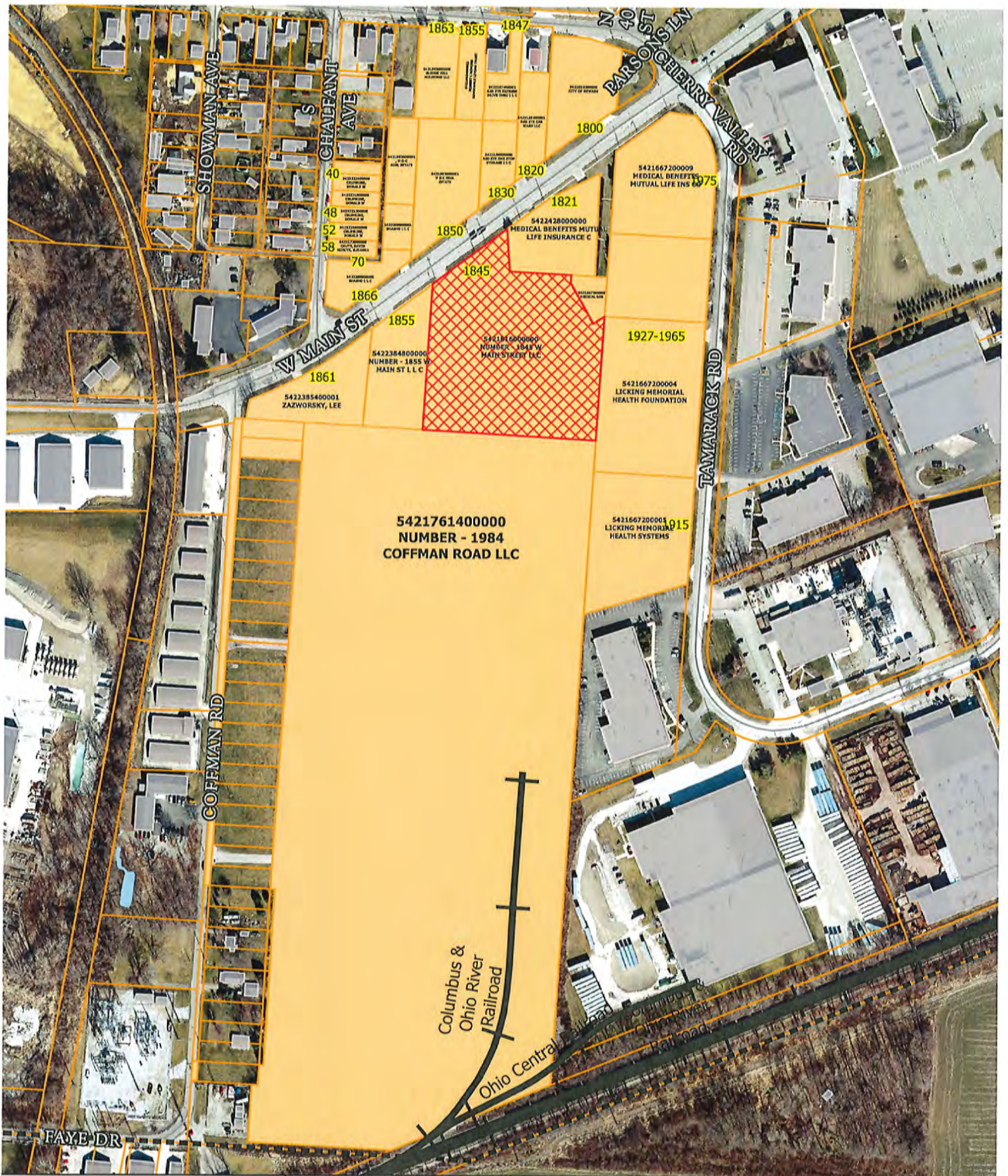
Existing Zoning - 1845 West Main St



7/5/2024

 Planned Unit Developments





1845 W MAIN ST
AUGUST 12, 2024

Legend

- BUILDING OUTLINES
- RAILROAD
- PARCELS
- PROPOSED VARIANCE
- PROPOSED VARIANCE WITHIN 300FT
- CITY LIMITS

ORDINANCE NO. 24-27

BY: _____

AN ORDINANCE CHANGING THE ZONING CLASSIFICATION OF CERTAIN REAL PROPERTY, GENERALLY DESCRIBED AS 2236 RIVER ROAD, CITY OF NEWARK, LICKING COUNTY, OHIO, PARCEL TAX ID #054-225738-00.000 AND 054-225744-00.000 FROM THAT OF MFC – MULTI-FAMILY CONDO ZONING DISTRICT TO MFR – MULTI-FAMILY RESIDENCE ZONING DISTRICT, ZONING CODE OF THE CITY OF NEWARK, OHIO.

WHEREAS, an application for zoning classification has been filed with Council; and

WHEREAS, pursuant to Article 4.12 of the Charter of the City of Newark, Ohio, this ordinance shall be referred to the Planning Commission immediately after its first reading; and

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Section 4: This ordinance shall become effective at the earliest time permitted by Section 4.07 of the Charter of the City of Newark, Ohio.

Passed this _____ day of _____, 20____.

PRESIDENT OF COUNCIL

ATTEST: _____
Clerk of Council

DATE FILED WITH MAYOR: _____

DATE APPROVED BY MAYOR: _____

MAYOR

FORM APPROVED:  _____
Director of Law

DESCRIPTION APPROVED: _____
Brian Morehead, Engineer

Prepared by the Office of the Director of Law



Planning Commission
c/o Engineering Dept.
40 West Main St, 2nd Floor
Newark, Ohio 43055
(740) 670-7727
(740)349-5911 Fax

City of Newark
Planning Commission
Zoning District Change Application

Zoning File # _____
PC Application # PC-24-31
Date Received: 6-26-24
Received by: P. Kemp
Amount Due: \$300.00
Paid By: (circle one) Credit Card Cash
Check # _____
Receipt # N/A

CITY OF NEWARK, OHIO | PLANNING COMMISSION

Rev 8/13

<input type="checkbox"/> District Change		<input type="checkbox"/> District Establishment (Newly Annexed)	
Owner			
Property Owner: <u>John R Lindsey</u>		Telephone: _____	
Address: <u>2236 River RD</u>		E-mail: _____	
City: <u>Newark</u>	State: <u>OH</u>	Zip: <u>43055</u>	Fax: _____
<i>I would prefer to have agendas mailed rather than e-mailed</i> <input type="checkbox"/>			
Applicant/Representative			
Representative: <u>Thomas L O'Brien</u>		Same as above <input type="checkbox"/>	Telephone: <u>614-560-9279</u>
Address: <u>2726 Kent RD.</u>		E-mail: <u>TomO'BrienCompany.com</u>	
City: <u>Columbus</u>	State: <u>OH</u>	Zip: <u>43221</u>	Fax: _____
<i>I would prefer to have agendas mailed rather than e-mailed</i> <input type="checkbox"/>			
Property Location			
Street Address: <u>2236 River RD. Newark OH 43055</u>			
Parcel Tax ID #: <u>054-225738-00, 054-225744-00</u>		Number of Acres: <u>2.0</u>	
Lot Number: (if applicable) _____		Property Platted? Yes <input type="checkbox"/> No <input type="checkbox"/>	
District Classification (Zoning Code 08-33, see www.newarkohio.net)			
Present Zoning District:		Proposed Zoning District:	
<input type="checkbox"/> AD Agricultural		<input type="checkbox"/> AD Agricultural	
<input type="checkbox"/> CD Conservation		<input type="checkbox"/> CD Conservation	
<input type="checkbox"/> CSI Church School Institutional		<input type="checkbox"/> CSI Church School Institutional	
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<input type="checkbox"/> RMH Single-Family Residence Manufactured Home		<input type="checkbox"/> RMH Single-Family Residence Manufactured Home	
<input type="checkbox"/> Single-Family Residence (Circle one)		<input type="checkbox"/> Single-Family Residence (Circle one)	
RS-Suburban RL-Low Density RM-Medium Density RH-High Density		RS-Suburban RL-Low Density RM-Medium Density RH-High Density	
<input type="checkbox"/> RZL Single-Family Residence Zero Lot Line		<input type="checkbox"/> RZL Single-Family Residence Zero Lot Line	
<input type="checkbox"/> SFC Single-Family Condo		<input type="checkbox"/> SFC Single-Family Condo	
<input type="checkbox"/> TFR Two-Family Residence		<input type="checkbox"/> TFR Two-Family Residence	

Property Use**Present Use:** Single family Dwelling**Proposed Use:** MultiFamily**Additional Comments**Reason For Request: We intend To Build a Multifamily Development**Required Documentation and Process Overview**

- ☐ **Complete Application Form** – must include the notarized signature of the property owner. If a notarized signature is not present, attach an Authorization Letter from the property owner, giving the Representative permission to act on his/her behalf.
- ☐ **Obtain a Tax Map and Auditor's Parcel Numbers of the parcels to be re-zoned**
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Newark City Council Chambers, 40 W. Main Street (1st Floor).
Note: be prepared to answer Planning Commission and Council Members' questions regarding your application

Owner Acknowledgement

I hereby certify that the information provided in this application is true and factual to the best of my knowledge.

Property Owner Signature: Thomas L. Obin Date: 6/26/24Sworn and subscribed before me this 26th day of June, 2024My Commission Expires: 5/11/2029 [Signature]
Notary Public**Engineering/Zoning Authorization – Office Use Only**Approved ☐Denied ☐Approved with Conditions ☐

Engineering Signature: _____ Date: _____

Comments/Conditions: _____

Planning Commission Recommendation to Council – Office Use OnlyApproved ☐Denied ☐Approved with Conditions ☐

Planning Director Signature: _____ Date: _____

Conditions: _____

After Planning Commission Recommendation:

- ☐ **Contact the Clerk of Council** regarding Council Public Hearing and Final Vote dates.
Clerk of Council's Office 40 W Main St (2nd Floor-Mayor's Office) (740) 670-7516.

Property Use**Present Use:** Single family Dwelling**Proposed Use:** MultiFamily**Additional Comments**

Reason For Request: We intend To Build a Multifamily Development

Required Documentation and Process Overview

- ☐ **Complete Application Form** – must include the notarized signature of the property owner. If a notarized signature is not present, attach an Authorization Letter from the property owner, giving the Representative permission to act on his/her behalf.
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I hereby certify that the information provided in this application is true and factual to the best of my knowledge.

Property Owner Signature: Thomas L. Obin Date: 6/26/24Sworn and subscribed before me this 26th day of June, 2024My Commission Expires: 5/11/2029 [Signature]
Notary Public**Engineering/Zoning Authorization – Office Use Only**Approved ☒Denied ☐Approved with Conditions ☐Engineering Signature: [Signature] Date: 7/5/24Comments/Conditions: DESCRIPTION APPROVED FOR ZONING PURPOSES.**Planning Commission Recommendation to Council – Office Use Only**Approved ☐Denied ☐Approved with Conditions ☐

Planning Director Signature: _____ Date: _____

Conditions: _____

After Planning Commission Recommendation:

- ☐ **Contact the Clerk of Council** regarding Council Public Hearing and Final Vote dates.
Clerk of Council's Office 40 W Main St (2nd Floor-Mayor's Office) (740) 670-7516.

Exhibit A -- Legal Description of the Property

Situated in the State of Ohio and County of Licking and more particularly described on Exhibit A attached hereto and incorporated herein.

Parcel No. 1

Parcel No. 054-225738-00.000

Street Address: 2236 River Road, Newark, Ohio 43055

Prior Instrument Reference: Instrument No. 198703020002786, Official Record Volume 150, page 707 of the Deed Records of Licking County, Ohio.

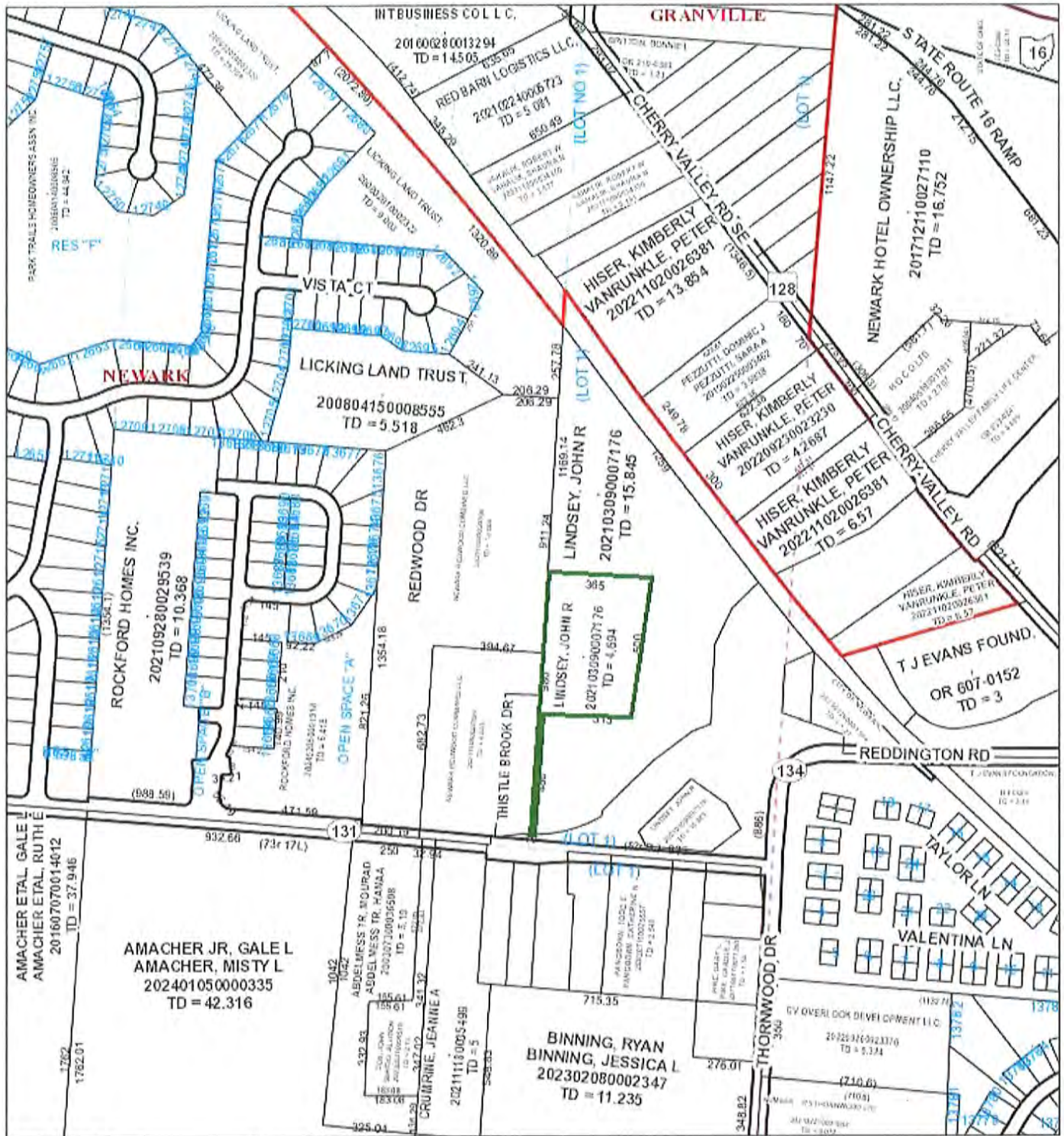
Parcel No. 2

Parcel No. 054-225744-00.000

Street Address: Reddington Road, Newark, Ohio 43055

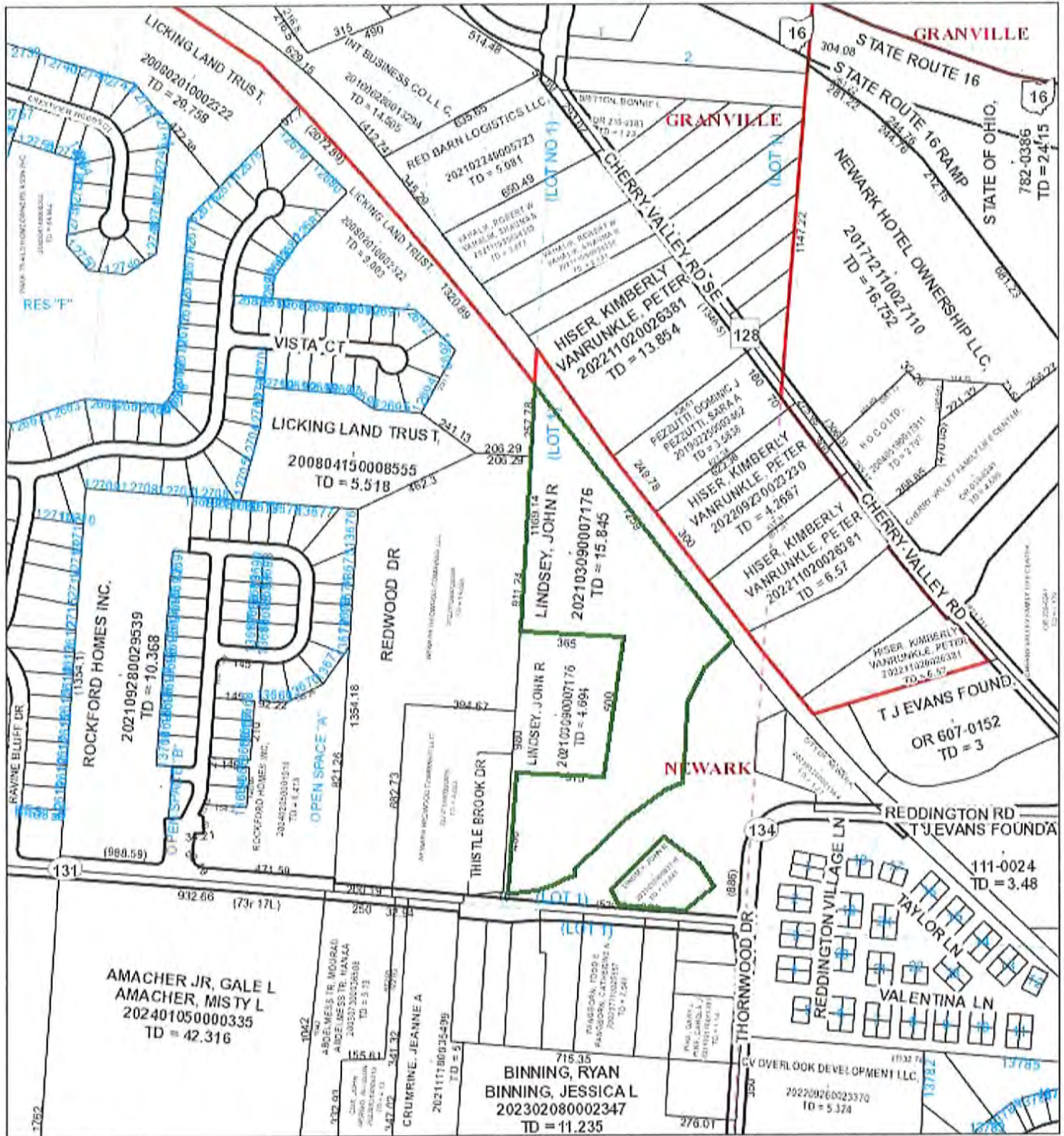
Prior Instrument Reference: Instrument No. 198703020002786, Official Record Volume 150, page 707 of the Deed Records of Licking County, Ohio.

DESCRIPTION
APPROVED *FOR ZONING PURPOSES*
By *[Signature]* 7/5/24
Div. of Engineering
City of Newark, Ohio

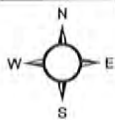


Property Report

Address		
JOHN R LINDSEY -- 2236 RIVER RD		
Engineer's Pin	Owner	Auditor's PIN
0213NK00500000036000	JOHN R LINDSEY	054-225738-00.000
Tax Acreage	Deed Acreage	Official Record
4.694	4.75	202103090007176



July 5, 2024



0 500 Feet
0.09 Miles

LICKING COUNTY TAX MAP

Property Report

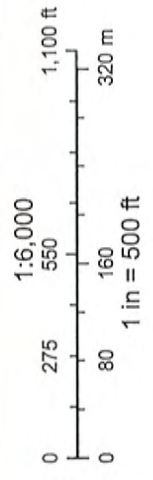
Address		
JOHN R LINDSEY -- REDDINGTON RD		
Engineer's Pin	Owner	Auditor's PIN
0213NK00500000035000	JOHN R LINDSEY	054-225744-00.000
Tax Acreage	Deed Acreage	Official Record
15.845	21.76	202103090007176

Existing Zoning - 2236 River Rd



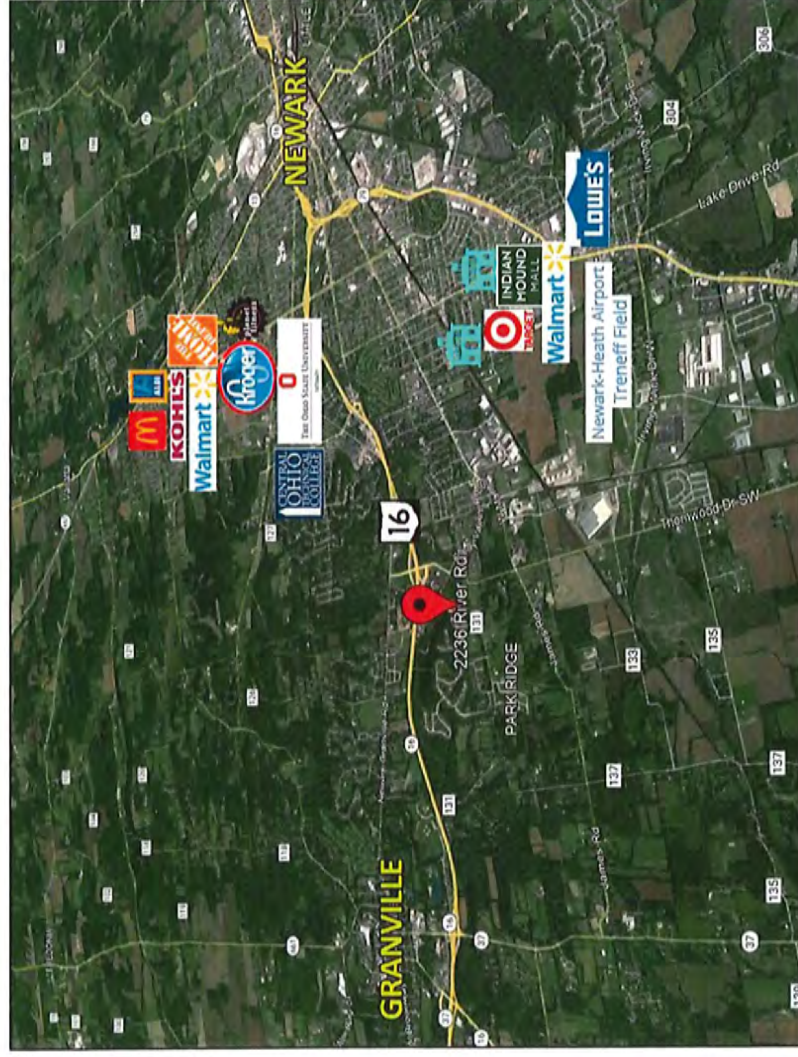
7/5/2024

 Planned Unit Developments



LOCATION

ROCKY POINT PARTNERS



Preliminary

- LEGEND**
- EXISTING ROAD CENTERLINE
 - EXISTING ROAD RIGHT-OF-WAY
 - EXISTING ROAD IN WAY
 - EXISTING SANITARY SEWER MAIN
 - EXISTING INTERURBAN ELECTRIC LINE
 - EXISTING EDGE OF PARKWAY
 - EXISTING EDGE OF PARKING LOT
 - EXISTING ELECTRIC LINE
 - EXISTING STORM SEWER LINE
 - EXISTING WATER LINE
 - PROPOSED EDGE OF PARKING LOT
 - PROPOSED LOT PAVING
 - PROPOSED DRIVE
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING DRIVE PAVEMENT
 - EXISTING DRIVE PAVEMENT
 - EXISTING DRIVE PAVEMENT
 - PROPOSED DRIVE PAVEMENT

UNDERGROUND UTILITIES

DATE: 10/1/2024	BY: J. M. WILSON
PROJECT: RIVER ROAD APARTMENTS	SCALE: 1" = 100'
CLIENT: CITY OF NEWARK, OHIO	DATE: 10/1/2024
PROJECT: RIVER ROAD APARTMENTS	SCALE: 1" = 100'
CLIENT: CITY OF NEWARK, OHIO	DATE: 10/1/2024



REVISIONS

REV. NO.	DESCRIPTION

DESIGN

DESIGNER	
CHECKED	
DATE	

CITY OF NEWARK, OHIO

Project River Road Apartments

Sheet Name Preliminary Site Plan

WELLS ENGINEERING & SURVEYING

DATE 6/17/2024

SCALE 1" = 100'

12115 New Hope Road

NEWARK, OHIO 43105

WES

12115 New Hope Road

NEWARK, OHIO 43105



SITE PLAN

ROCKY POINT PARTNERS



BUILDING C
3 Story, 4 Buildings, 36 Units per Building, 144 Total Units

BUILDING A
3-Story, 3 Buildings, 24 Units per Building, 72 Total Units

PARKING
Over 2 spots per unit with the included Garages

GARAGES
44 total Garages, Electric chargers throughout the site

CLUBHOUSE
Equipped with a pool, fitness facility, golf simulator and coworking space

ENTRY & SIGNAGE
Of River Road

BUILDING B
3-Story, 1 Building, 18 Units

The Retreat at Newark | 8

BUILDING (REPRESENTATIVE BUILDING)

ROCKY POINT PARTNERS



12' West Perspective



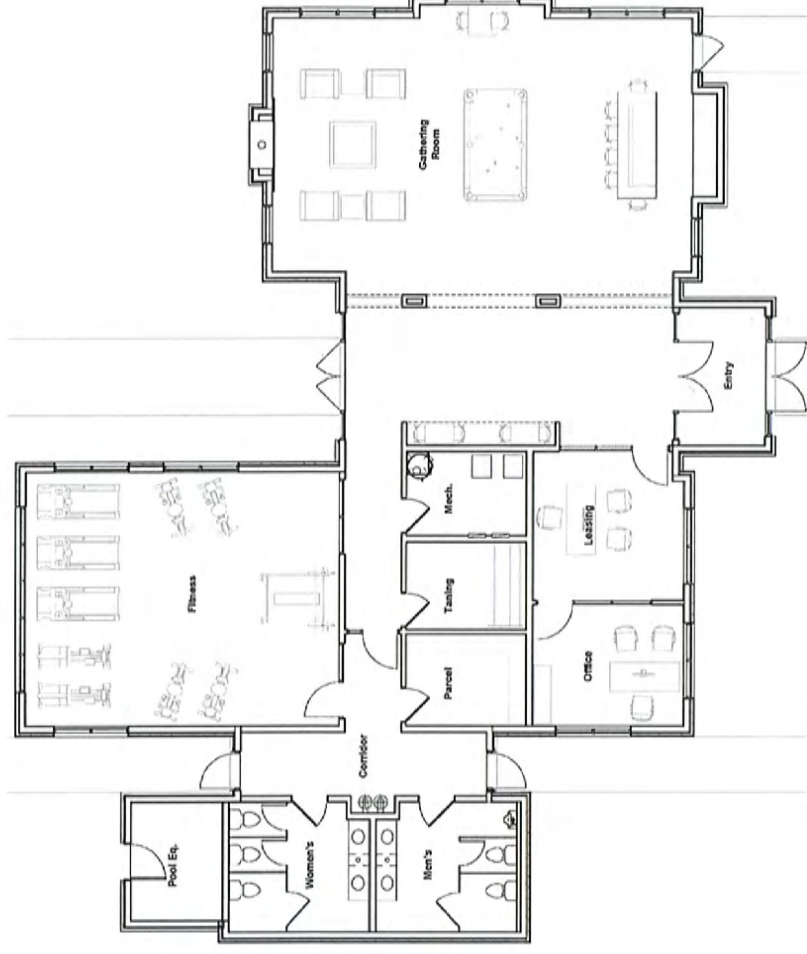
13' East Perspective

CLUBHOUSE (REPRESENTATIVE BUILDING)

ROCKY POINT PARTNERS



James Thompson














0 110 220 440 660 880 Feet



2236 RIVER RD
AUGUST 13, 2024

Legend

	BUILDING OUTLINES		PROPOSED VARIANCE
	RAILROAD		PROPOSED VARIANCE WITHIN 300FT
	PARCELS		CITY LIMITS
	RIVERS		



CITY OF NEWARK PLANNING COMMISSION STAFF REPORT

OCTOBER 8, 2024 PLANNING COMMISSION MEETING

Application:

1. ***PC FILE 24-47: SITE PLAN FOR NEW WAREHOUSE - OFFICE BUILDING FOR NORTH CENTRAL INSULATION, 995 BRICE STREET***

Staff Report & Recommendations:

Overview:

The applicant intends to build a 9,870 SF new commercial building on the adjacent vacant parcel at this location.

The Site Plan Review Committee submitted comments on 10/3/2024 regarding this application. Reviewers included:

Mark Mauter, Development Director
Brandon Metzger, Fire Chief
Aaron Holman, NFD
Erik McKee, Police Chief
Craig Riley, Deputy Police Chief
Brandon Fox, Utilities Superintendent

Adam Bernard, Utilities Engineer
Lindsey Brighton, Stormwater Utility
Nick Shultz, Street and Traffic Engineer
Don Hiltner, Senior Engineer
Brian Morehead, City Engineer
George Carter, Zoning Inspector

A. Zoning District:

This site is zoned General Commercial District (GC); the proposed use is a permitted use.

Flood Zones: This structure is not located in the 100-year Floodplain Area.

B. Safety Division Review:

The Police Division and Fire Divisions have no issues with the proposed structure.

C. Height Restrictions:

There are no height restrictions in the GC District.

D. Lot Area & Setbacks:

For this development, the vacant 0.672 acre parcel is required to be combined with the original 1.597 acre parcel, due to the new building being constructed across the property line. The combined Parcel would be approximately 98,850 S.F. +/-, with 21% building coverage, which meets the lot setback and area requirements and 35% maximum coverage.

E. Off-Street Parking & Loading:

Code requires 27 parking spaces for the new development on this site, and 37 new spaces are specifically proposed.

F. Corner Lots:

There are no structures proposed in the corner lot areas.

G. Landscaping, Buffering & Greenspace:

The landscaping requirement consists of 10,918 +/- SF of green space (Lawn) and greater than 2,729 SF of the green space area shall be ground cover (planting areas) as required by the Zoning Code. In addition, 5 trees are required on the entire site. A 15' landscape buffer is shown around the entire site. The landscaping shown on this plan appears to meet these requirements.



CITY OF NEWARK PLANNING COMMISSION STAFF REPORT

H. Public & Private Roadways – Access Management:

An existing shared driveway on Brice Street will serve this building and the existing development as well. A new driveway approach is proposed at the west end of the site to serve the loading bays and docks. We don't see any issues with this new driveway approach.

I. Site Signage:

No additional signage has been submitted with the proposal. Signage will need to be approved as a separate Zoning approval.

J. Traffic Control / Street / Right-of-Way Issues:

No comments noted.

K. Engineering / Utilities:

Engineering and Water staff will be reviewing the detailed water, sanitary and stormwater management plans; these have been submitted for review as part of this package. Engineering will follow up for compliance prior to construction.

L. Other Standards/Regulations

No other comments at this time.

Recommendations:

Staff recommends conditional approval of the Site Plan in order to grant Zoning approval of the site, provided the following issues are addressed:

1. Lot combination submitted and approved as required.
2. Approved construction plans following City review.
3. Any of the remaining issues listed above will be addressed on the final construction plans. Compliance with City's Stormwater Management requirements.

If approved by Planning Commission, the zoning certificate will not be granted until the above conditions are resolved / met.

Planning Commission Action on Recommendation:

_____ Approved As Submitted

_____ Approved As Noted, With Contingencies

_____ Denied

Planning Director

Date

CONTROL MONUMENTS

CONTROL MONUMENTS ARE BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 83 (2011) AND NAVD 88.

NATIONAL GEODETIC SURVEY CONTROL MONUMENTS
NAME: MADISON TWP 4
LATITUDE: 40°04'18.58368"N
LONGITUDE: 82°22'24.84518"W
HEIGHT: 811.596
NORTHING: 75644.165
EASTING: 2003884.664
ELEVATION: 923.208
ΔH=0.038 SFT ΔW=-0.069 SFT

LICKING COUNTY CORRS ARP OHU 39°57'09.13849"N 82°24'51.03108"W 966.733 711175.095 1992561.181 1078.725

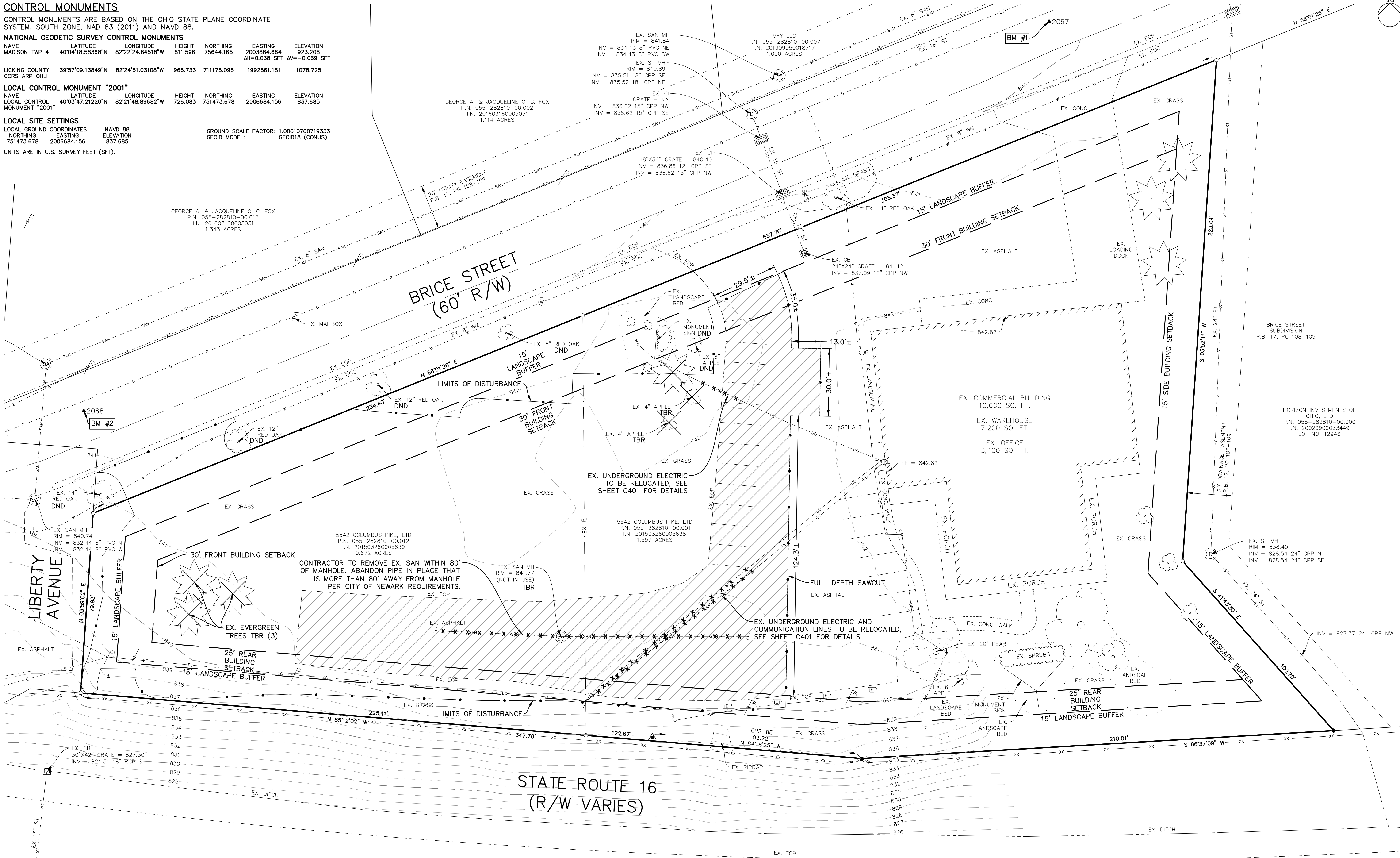
LOCAL CONTROL MONUMENT "2001"

NAME: LOCAL CONTROL MONUMENT "2001"
LATITUDE: 40°03'47.21220"N
LONGITUDE: 82°21'48.89682"W
HEIGHT: 726.083
NORTHING: 751473.678
EASTING: 2006684.156
ELEVATION: 837.685

LOCAL SITE SETTINGS

LOCAL GROUND COORDINATES: NAVD 88
NORTHING: 751473.678
EASTING: 2006684.156
ELEVATION: 837.685
GROUND SCALE FACTOR: 1.00010760719333
GEOD MODEL: GEOID18 (CONUS)

UNITS ARE IN U.S. SURVEY FEET (SFT).



BENCHMARKS

BENCHMARKS ARE BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 83 (2011) AND THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

BM #1
MAG NAIL SET, POINT #2067
NORTHING = 751791.418
EASTING = 2006860.272
ELEVATION = 840.14

BM #2
MAG NAIL SET, POINT #2068
NORTHING = 751618.654
EASTING = 2006431.791
ELEVATION = 841.22

FLOOD_ZONE

THE SUBJECT SITE IS LOCATED IN THE FLOOD HAZARD ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP 39089C0353J, EFFECTIVE MARCH 16, 2015.

EXISTING CONDITIONS LEGEND

- 5/8" IRON PIN (SET) WITH PLASTIC CAP STAMPED "McCARTY ASSOCIATES"
- 5/8" IRON PIN (FOUND) UNLESS NOTED OTHERWISE
- McCARTY ASSOCIATES LOCAL CONTROL MONUMENT "2001", 5/8" IRON PIN (SET) WITH PLASTIC CAP STAMPED "McCARTY TRAVERSE"
- EX. UTILITY POLE
- EX. LIGHT POLE
- EX. POLE
- EX. GUY WIRE
- EX. GROUND LIGHT
- EX. ELECTRIC METER
- EX. ELECTRIC PEDESTAL
- EX. GAS METER
- EX. FIRE HYDRANT
- EX. SANITARY MANHOLE
- EX. STORM MANHOLE
- EX. CURB INLET
- EX. SQUARE CATCH BASIN
- EX. SHRUB
- EX. EVERGREEN TREE
- EX. DECIDUOUS TREE
- EX. SHRUB/TREE TBR
- PROPERTY LINE
- SETBACK LINE
- EX. CONTOUR
- EX. CHAINLINK FENCE
- EX. UNDERGROUND ELECTRIC
- EX. OVERHEAD ELECTRIC AND COMMUNICATIONS
- EX. UNDERGROUND COMMUNICATIONS
- EX. GAS
- EX. WATER
- EX. SANITARY SEWER
- EX. STORM SEWER

ABBREVIATIONS

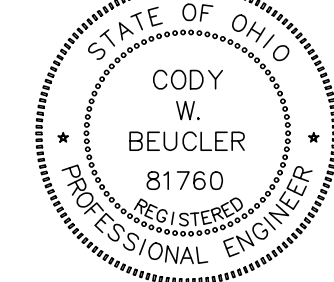
EX. EXISTING
EOP EDGE OF PAVEMENT
BOC BACK OF CURB
CONC. CONCRETE
WM WATER MAIN
SAN SANITARY
ST STORM
MH MANHOLE
CB CATCH BASIN
CI CURB INLET
TBR TO BE REMOVED
DND DO NOT DISTURB

EXISTING CONDITION NOTES

- THE ABOVE LISTED DEED REFERENCES WERE USED AS A BASIS FOR CARRYING OUT THE WORK.
- NO EVIDENCE OF OCCUPATION EXISTS ALONG PROPERTY LINES INDICATED BY SOLID LINES.
- ALL MONUMENTS FOUND OR SET ARE IN GOOD CONDITION UNLESS OTHERWISE INDICATED.
- THE SIZE AND/OR LOCATION OF UNDERGROUND UTILITIES WAS PROVIDED BY THE UTILITY COMPANIES AND IS NOT WARRANTED CORRECT OR COMPLETE BY THE SURVEYOR.

REVISIONS

08.29.23	PERMIT SET



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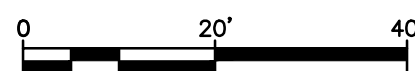
NEW CONSTRUCTION FOR NORTH CENTRAL INSULATION - NEWARK

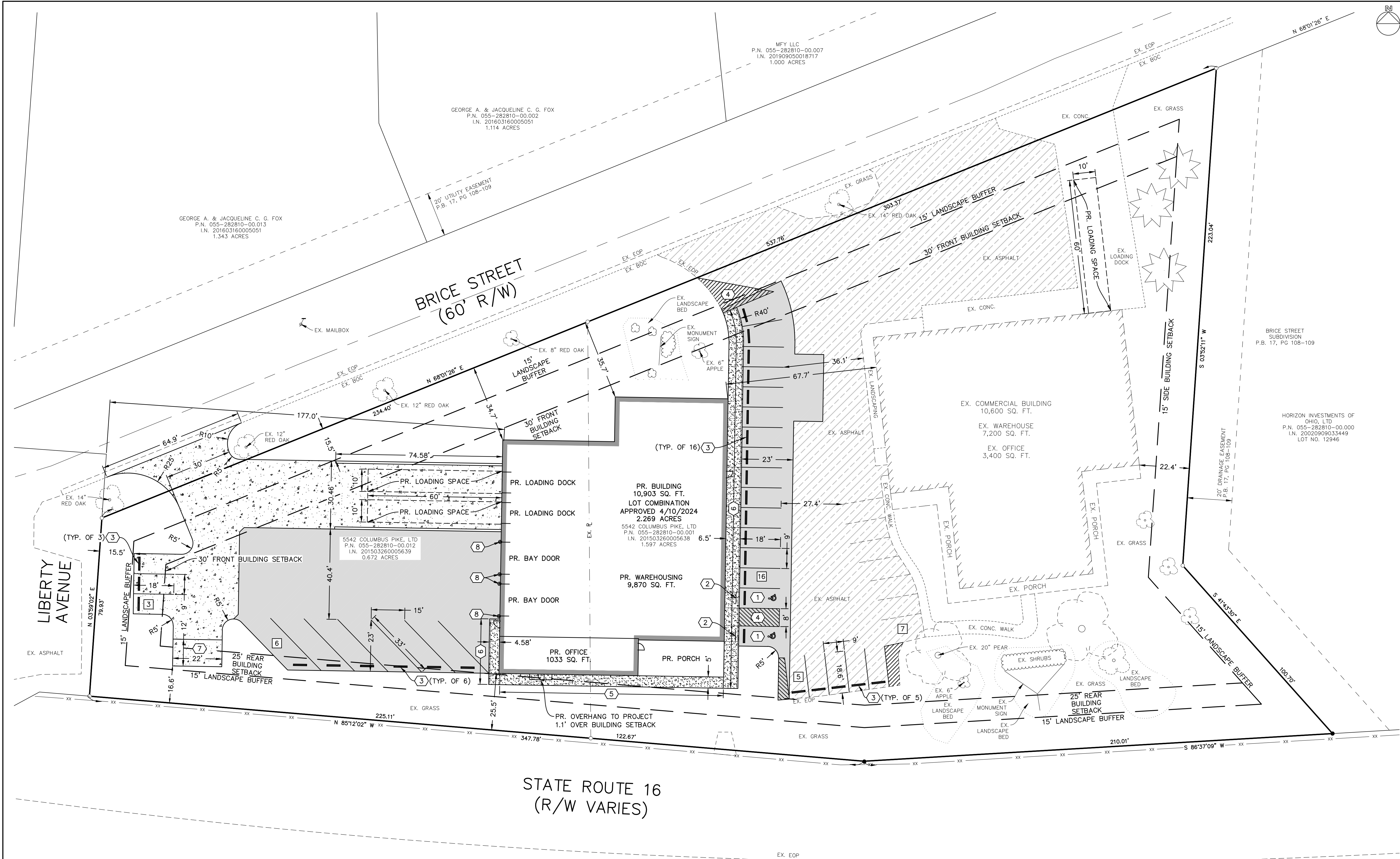
995 BRICE STREET
NEWARK, OHIO 43055
LICKING COUNTY

PROJECT NUMBER
24-124

EXISTING
CONDITIONS &
DEMOLITION PLAN

DRAWING NUMBER
C101





SITE DATA				GENERAL ZONING INFORMATION				PARKING CALCULATION (ORDINANCE 125.2)				SITE LEGEND		KEYED NOTES	
SITE ADDRESS: 055-282810-00.001 & 055-282810-00.012				REQUIRED				REQUIRED				#		1. PR. ADA PARKING SPACE, VAN ACCESSIBLE	
PARCEL ID: 2.27 ACRES TOTAL (98,850 SQ. FT.±)				PROVIDED				PROVIDED				PR. HEAVY DUTY ASPHALT PAVEMENT, SEE DETAIL 2 ON SHEET C502.		2. PR. ACCESSIBLE PARKING SIGN, SEE DETAIL 3 ON SHEET C502.	
SITE AREA: (1.60 ACRES & 0.67 ACRES)				TABLE 130.6.7				ORDINANCE				PR. MILL AND OVERLAY, SEE DETAIL 2 ON SHEET C502.		3. PR. PARKING BLOCK, SEE DETAIL 5 ON SHEET C502.	
LOT COMBINATION APPROVED 4/10/2024				MIN. BUILDING SEPARATION: 25'				125.2				PR. CONCRETE PAVEMENT, SEE DETAIL 2 ON SHEET C502.		4. PR. TRANSVERSE PAVEMENT MARKING, SEE DETAIL 6 ON SHEET C502.	
ZONING: GENERAL COMMERCIAL (GC)				LANDSCAPE BUFFERS: 15'				125.4.1				PR. CONCRETE WALK		5. PR. SIDEWALK IN GRASS, SEE DETAIL 1 ON SHEET C502.	
EXISTING USE: WAREHOUSE/OFFICE				BUILDING SETBACKS:										6. PR. INTEGRAL SIDEWALK AND CURB, SEE DETAIL 1 ON SHEET C502.	
TOTAL BUILDING AREA: 21,503 SQ. FT.				FRONT: 30'										7. PR. DUMPSTER ENCLOSURE, SEE ARCHITECTURAL PLANS FOR DETAILS.	
EX. BUILDING AREA: 10,600 SQ. FT.				SIDE: 15'										8. PR. BOLLARD, SEE DETAIL 10 ON SHEET C502. SEE ARCHITECTURAL PLANS FOR LOCATION.	
PR. BUILDING AREA: 10,903 SQ. FT.				REAR: 25'											
OFFICE AREA: 4,433 SQ. FT.															
WAREHOUSE AREA: 17,070 SQ. FT.															
TOTAL IMPERVIOUS AREA: 1.41 ACRES (61,640 SQ. FT.±)															
TOTAL GREEN SPACE: 0.86 ACRES (37,210 SQ. FT.±)															
TOTAL EMPLOYEES: 36															

SITE NOTES

1. ALL DIMENSIONS ARE TO BUILDING FACE, FACE OF CURB, OR EDGE OF SIDEWALK UNLESS NOTED OTHERWISE.

2. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF UTILITY ENTRANCES, BUILDING DIMENSIONS, AND EXIT DOORS AND RAMPS.

3. ALL PARKING STRIPES ARE TO BE 4" WHITE PER ODOT ITEM 640.

ABBREVIATIONS

PR. PROPOSED

NOTE:

1. SEE SHEET C101 FOR EXISTING CONDITIONS LEGEND.

0 20' 40'

REVISIONS

08.29.24	PERMIT SET

STATE OF OHIO
CODY W. BEUCLER
81760
REGISTERED PROFESSIONAL ENGINEER

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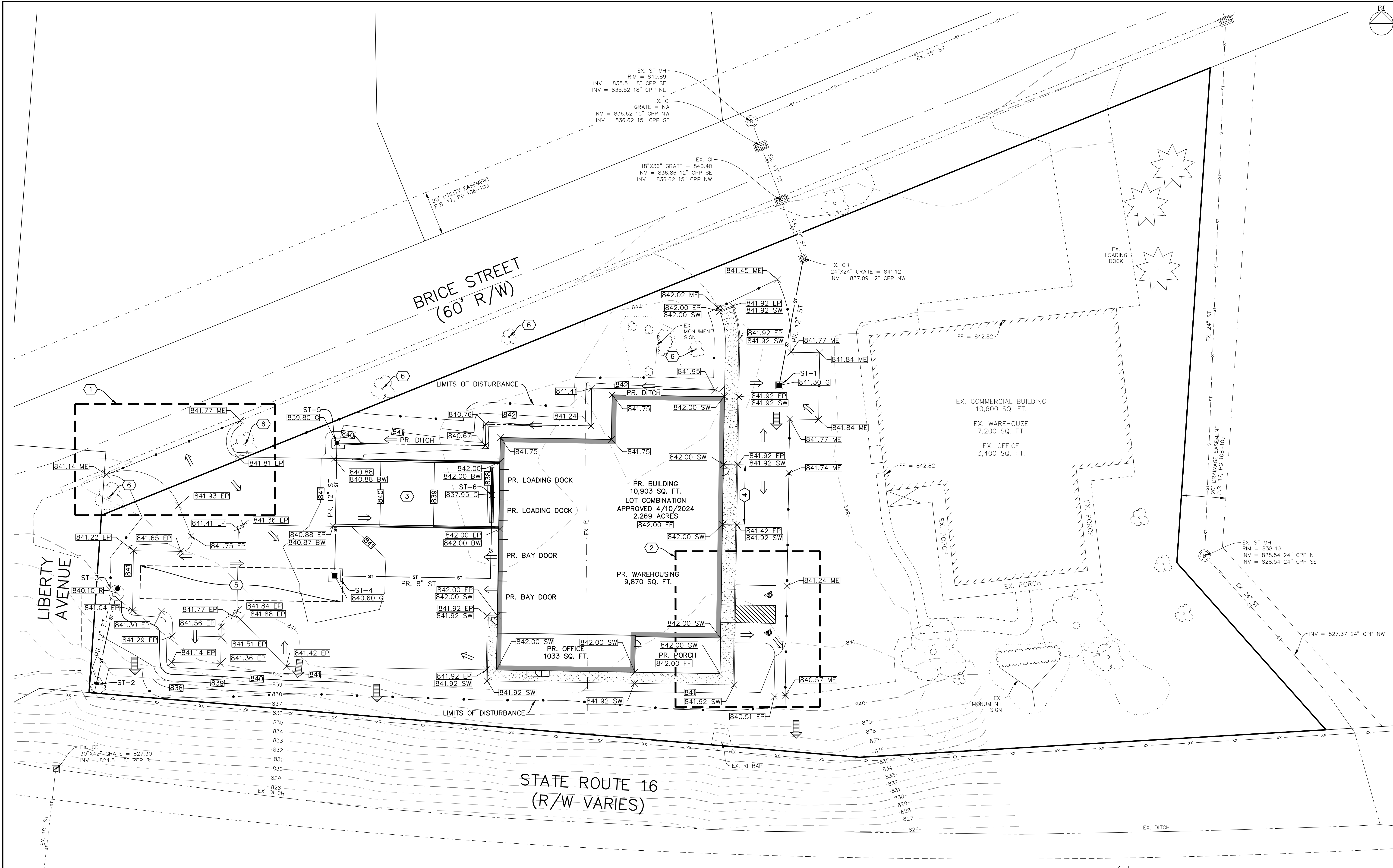
213 N. High St. Hillsboro, Oh 45133
O: 937.393.9971 F: 937.393.2480
MCCARTYASSOCIATES.COM

NEW CONSTRUCTION FOR
NORTH CENTRAL INSULATION -
NEWARK

995 BRICE STREET
NEWARK, OHIO 43055
LICKING COUNTY

PROJECT NUMBER
24-124
SITE PLAN
DRAWING NUMBER
C201

L:\2024\24-124 NORTH CENTRAL INSULATION - NEWARK\CAD\AutoCAD Project\Drawings\Plan, 8/29/2024 10:51:12 AM, gennet, DWG To PDF.pc3



GRADING LEGEND

- PR. STORM STRUCTURE NUMBER
- PR. MANHOLE
- PR. YARD DRAIN/CATCH BASIN
- PR. RUNOFF FLOW
- PR. MAJOR FLOOD ROUTE
- PR. SPOT ELEVATION
- PR. CONTOUR
- PR. STORM SEWER
- LIMITS OF DISTURBANCE

ABBREVIATIONS

- ME MATCH EXISTING
- EP EDGE OF PAVEMENT
- SW SIDEWALK
- FF FINISHED FLOOR
- G GRATE
- R RIM
- BW BOTTOM OF WALL

NOTE:

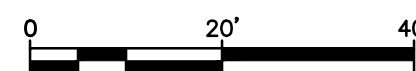
- SEE SHEET C101 FOR EXISTING CONDITIONS LEGEND.
- SEE SHEET C201 FOR SITE PLAN LEGEND.

GRADING PLAN NOTES

- CONTRACTOR TO VERIFY EXISTING TOPOGRAPHY, STRUCTURES, AND UTILITIES ON-SITE AND NOTIFY ENGINEER OF DISCREPANCIES PRIOR TO START OF WORK
- THE CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN ESTABLISHING ALL GRADES IN THE VICINITY OF ADA ACCESS AREAS. ADA ACCESS AREAS SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL CODES.
- THE CONTRACTOR SHALL PROVIDE FOR POSITIVE DRAINAGE IN ALL AREAS. PAVEMENT SHALL BE TESTED FOR ANY PONDING CONDITIONS FOLLOWING CONSTRUCTION.
- CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING AROUND EXISTING UTILITIES. CONTRACTOR TO COORDINATE ANY RELOCATION OR DISTURBANCE WITH THE RESPECTIVE UTILITY OWNER.

KEYED NOTES

- SEE NORTHWEST DRIVE DETAIL, SHEET C302.
- SEE ADA PARKING DETAIL, SHEET C302.
- SEE LOADING DOCK DETAIL, SHEET C505.
- TRANSITION CURB FROM 6" TO FLUSH OVER 27'.
- PR. UNDERGROUND DETENTION, SEE DETAIL SHEET C403.
- CONTRACTOR TO EXERCISE EXTREME CAUTION AND MINIMIZE DISTURBANCE WHEN EXCAVATING AROUND EX. TREE.



REVISIONS

08.29.24	PERMIT SET

STATE OF OHIO
CODY W. BEUCLER
81760
REGISTERED PROFESSIONAL ENGINEER

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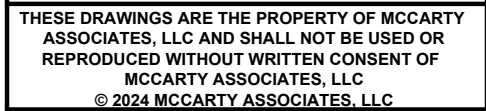
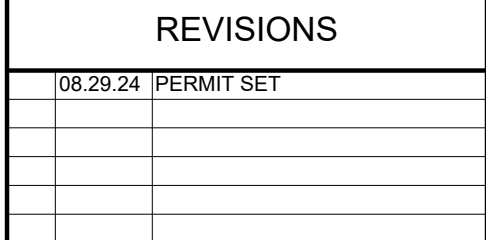
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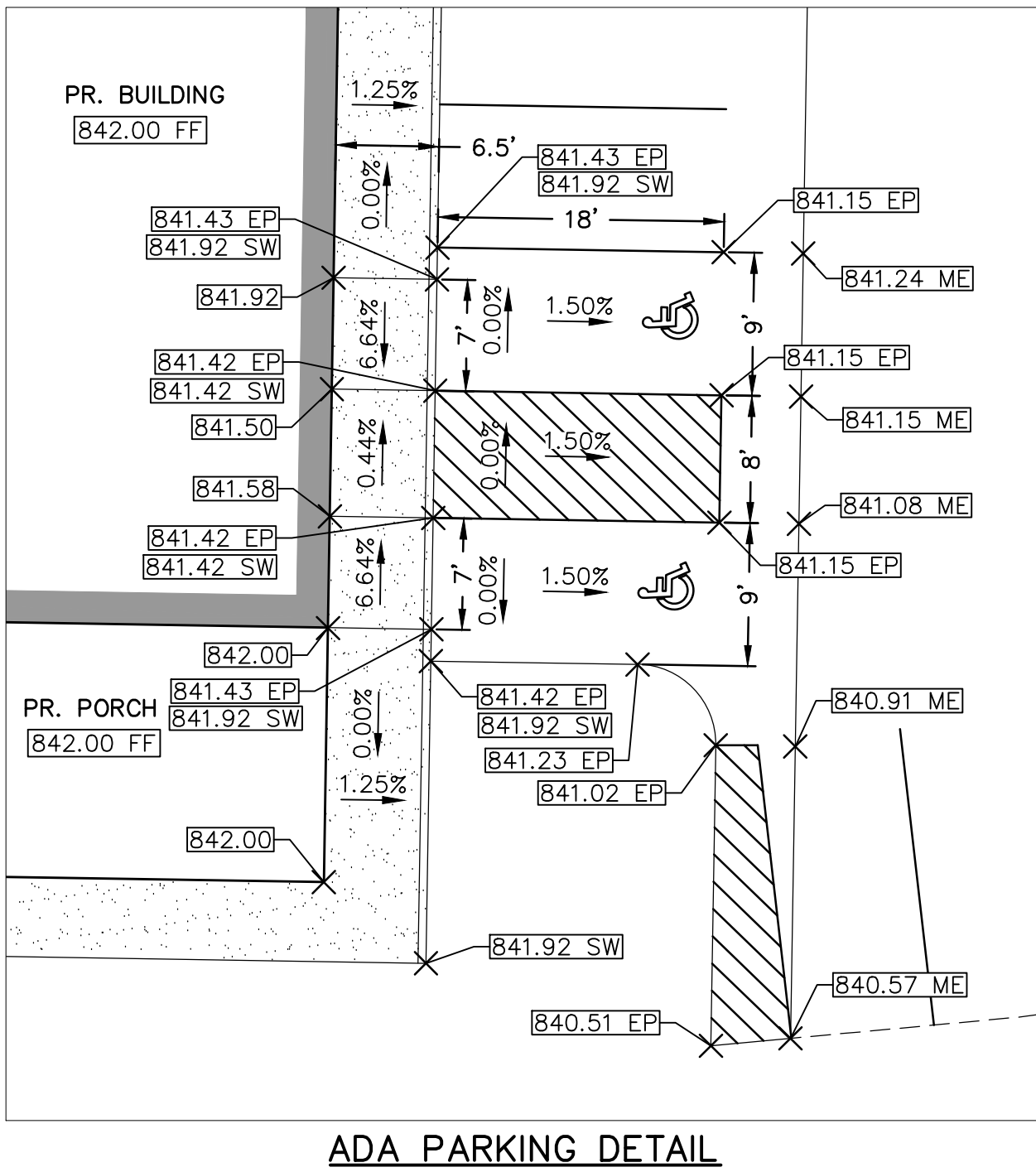
PROJECT NUMBER
24-124

GRADING PLAN

DRAWING NUMBER
C301

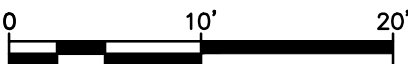


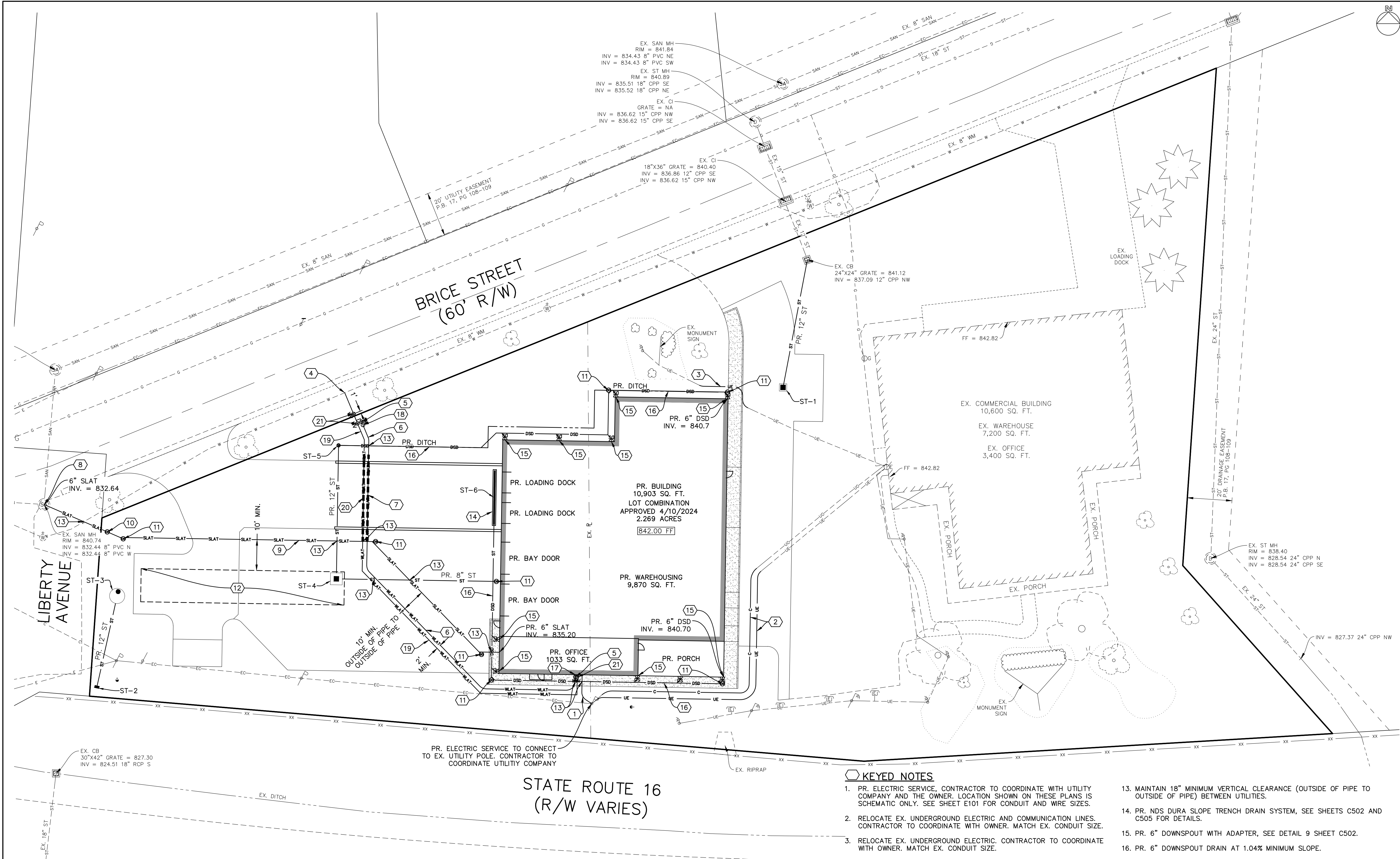
PROJECT NUMBER
24-124
GRADING DETAILS
DRAWING NUMBER
C302



NOTE:

1. SEE SHEET C301 FOR GRADING LEGEND.





UTILITY LEGEND

	PR. WATER VALVE		PR. MANHOLE
	PR. CLEANOUT		PR. YARD DRAIN/CATCH BASIN
	PR. DOWNSPOUT		PR. ST STRUCTURE NUMBER
	PR. UNDERGROUND ELECTRIC		
	PR. UNDERGROUND COMMUNICATIONS		
	PR. WATER LATERAL		
	PR. SANITARY LATERAL		
	PR. STORM SEWER		
	PR. DOWNSPOUT DRAIN		

ABBREVIATIONS

WLAT	WATER LATERAL
SLAT	SANITARY LATERAL
DSD	DOWNSPOUT DRAIN

NOTE:

- SEE SHEET C101 FOR EXISTING CONDITIONS LEGEND.
- SEE SHEET C201 FOR SITE PLAN LEGEND.

UTILITY PLAN NOTES

- CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING AROUND EXISTING UTILITIES. CONTRACTOR TO COORDINATE ANY RELOCATION OR DISTURBANCE WITH THE RESPECTIVE UTILITY OWNER.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES FOUND BETWEEN THE PLANS OR FIELD CONDITIONS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL CALL THE OHIO UTILITIES PROTECTION SERVICES, OUPS, AT 811 OR 1-800-362-2764 AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
- THE CONNECTION OF PROPOSED UTILITIES SHALL BE DONE IN A MANNER THAT WILL MINIMIZE THE STOPPAGE OF SERVICE TO THE EXISTING BUILDING. THE CONTRACTOR SHALL COORDINATE ANY DISCONNECTION OF THE EXISTING UTILITY SERVICES WITH THE OWNER.
- THE INFORMATION SHOWN CONCERNING EXISTING UTILITIES IS NOT REPRESENTED, WARRANTED, OR GUARANTEED TO BE COMPLETE OR ACCURATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PHYSICALLY LOCATE AND VERIFY IN THE FIELD, ALL UTILITY LOCATIONS AND ELEVATIONS, WHETHER SHOWN ON THE PLAN OR NOT. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUPPORT, PROTECT, AND RESTORE ALL EXISTING UTILITIES AND APPURTENANCES TO THE SATISFACTION OF THE UTILITY OWNER.

KEYED NOTES

- PR. ELECTRIC SERVICE, CONTRACTOR TO COORDINATE WITH UTILITY COMPANY AND THE OWNER. LOCATION SHOWN ON THESE PLANS IS SCHEMATIC ONLY. SEE SHEET E101 FOR CONDUIT AND WIRE SIZES.
- RELOCATE EX. UNDERGROUND ELECTRIC AND COMMUNICATION LINES. CONTRACTOR TO COORDINATE WITH OWNER. MATCH EX. CONDUIT SIZE.
- RELOCATE EX. UNDERGROUND ELECTRIC. CONTRACTOR TO COORDINATE WITH OWNER. MATCH EX. CONDUIT SIZE.
- PR. 6" WATER TAP, TO BE INSTALLED BY THE CITY OF NEWARK.
- PR. CURB STOP PER NEWARK STD DWG 800-WS-3A.
- PR. 1" TYPE "K" COPPER, OR APPROVED EQUAL, DOMESTIC WATER SERVICE.
- PROVIDE 1" WATER SERVICE IN 3" CONDUIT UNDER LOADING DOCK.
- CORE PR. 6" SANITARY LATERAL INTO EX. MANHOLE AND SEAL CONNECTION WITH A MANUFACTURED COMPRESSED FLEXIBLE JOINT. ENSURE SANITARY LATERAL DOES NOT PROJECT INTO MANHOLE.
- PR. 6" PVC SDR 35 SANITARY LATERAL, MAINTAIN MINIMUM 1.04% SLOPE.
- PR. SANITARY LATERAL CLEANOUT PER NEWARK STD DWG 900-9.
- PR. CLEANOUT, SEE DETAIL 7 SHEET C502. INSTALL CLEANOUT PROTECTION IN PAVEMENT AREAS, SEE DETAIL 8, SHEET C502.
- PR. UNDERGROUND DETENTION, SEE DETAIL SHEET C403.
- MAINTAIN 18" MINIMUM VERTICAL CLEARANCE (OUTSIDE OF PIPE TO OUTSIDE OF PIPE) BETWEEN UTILITIES.
- PR. NDS DURA SLOPE TRENCH DRAIN SYSTEM, SEE SHEETS C502 AND C505 FOR DETAILS.
- PR. 6" DOWNSPOUT WITH ADAPTER, SEE DETAIL 9 SHEET C502.
- PR. 6" DOWNSPOUT DRAIN AT 1.04% MINIMUM SLOPE.
- DOMESTIC BACKFLOW PREVENTER TO BE PROVIDED WITHIN BUILDING, SEE MEP PLAN SHEET P101.
- PR. 1" WATER METER PIT, SEE NEWARK STD 800-WS-6.
- PR. 6" C900, OR APPROVED EQUAL, FIRE WATER SERVICE.
- PR. 6" FIRE WATER SERVICE IN 8" CONDUIT UNDER LOADING DOCK.
- PR. 6" GATE VALVE

REVISIONS

08.29.24	PERMIT SET

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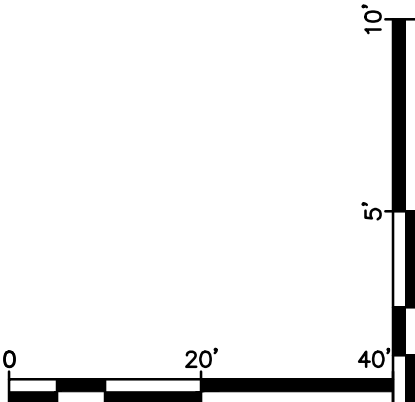
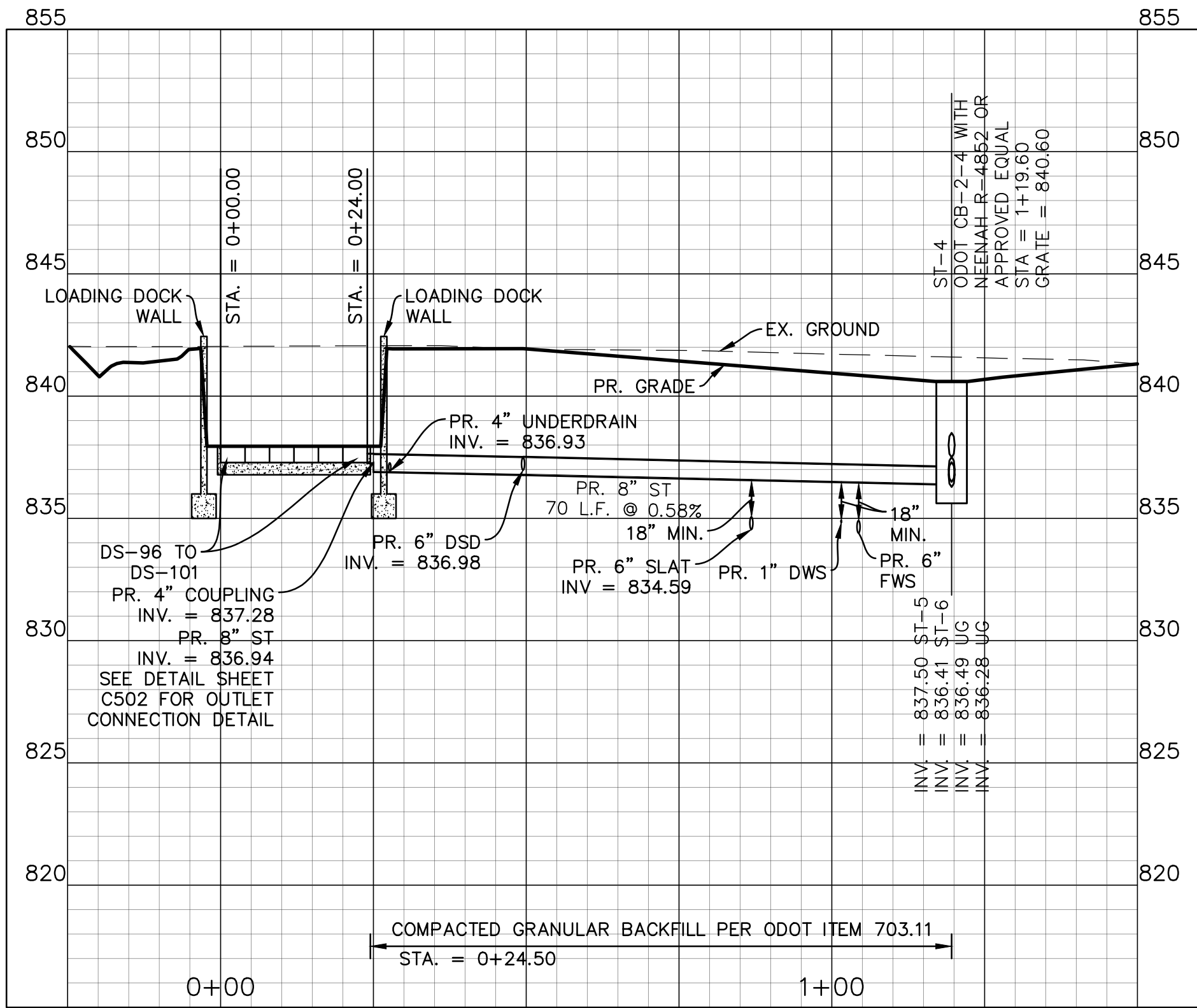
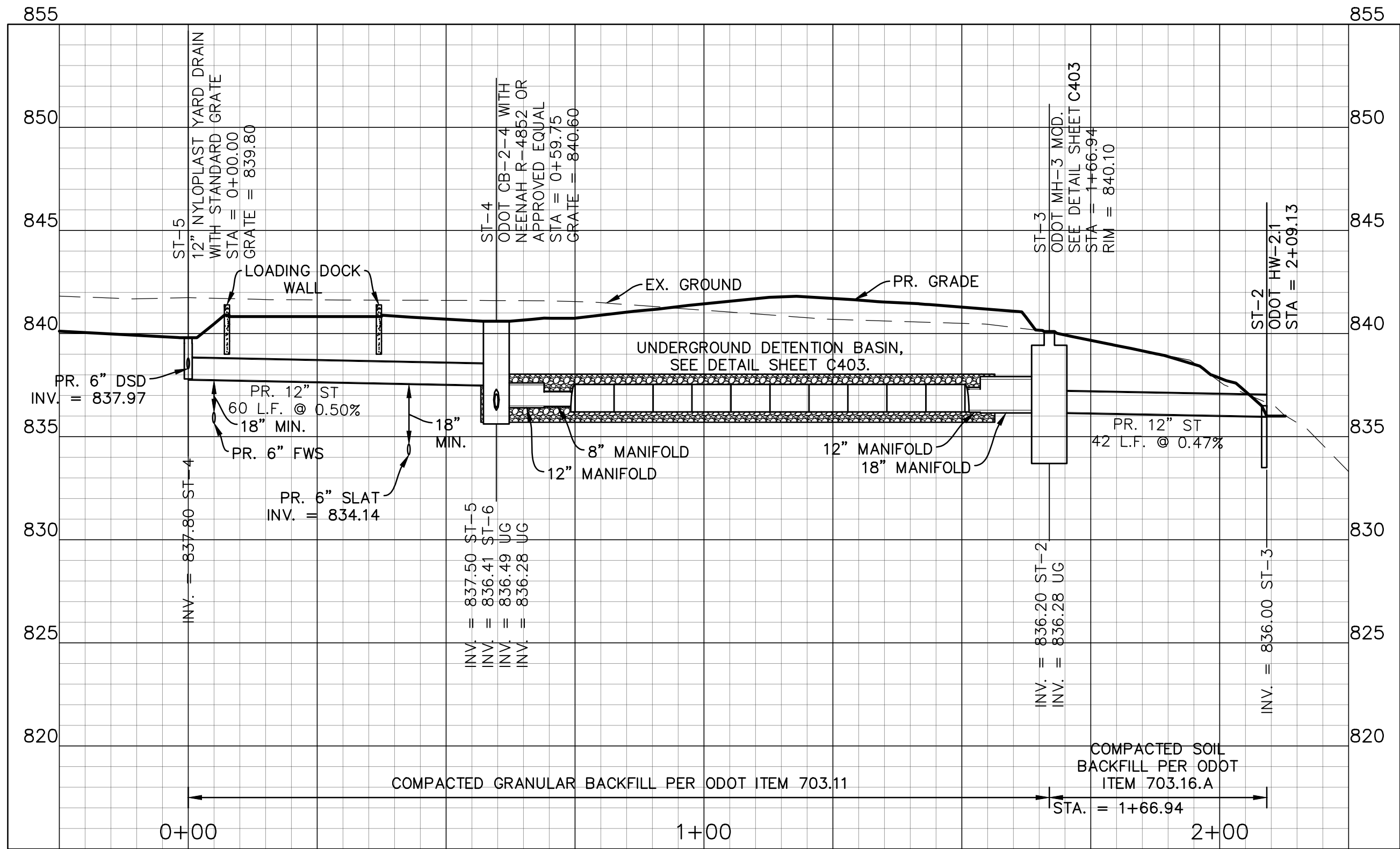
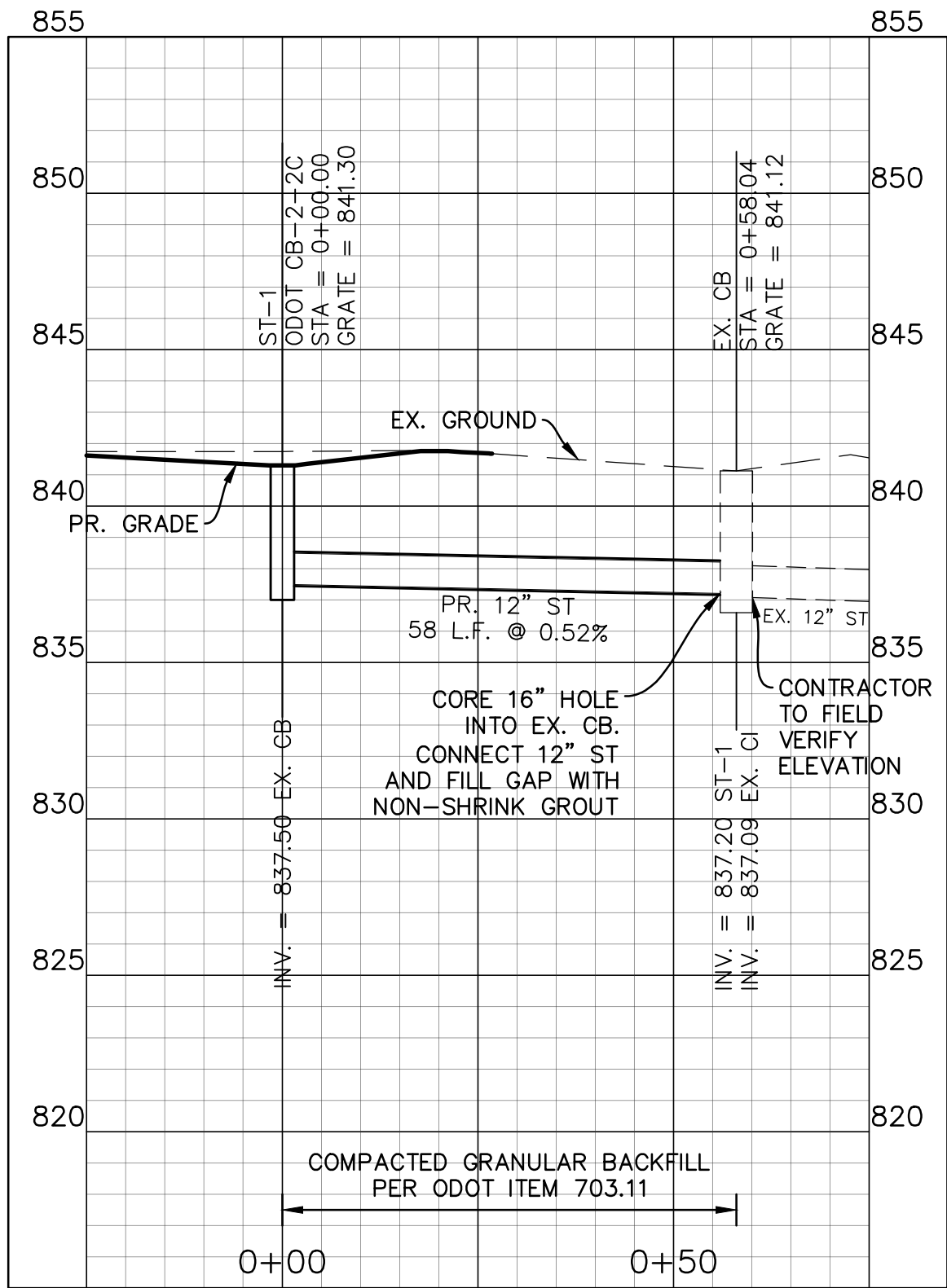
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NEW CONSTRUCTION FOR
NORTH CENTRAL INSULATION -
NEWARK

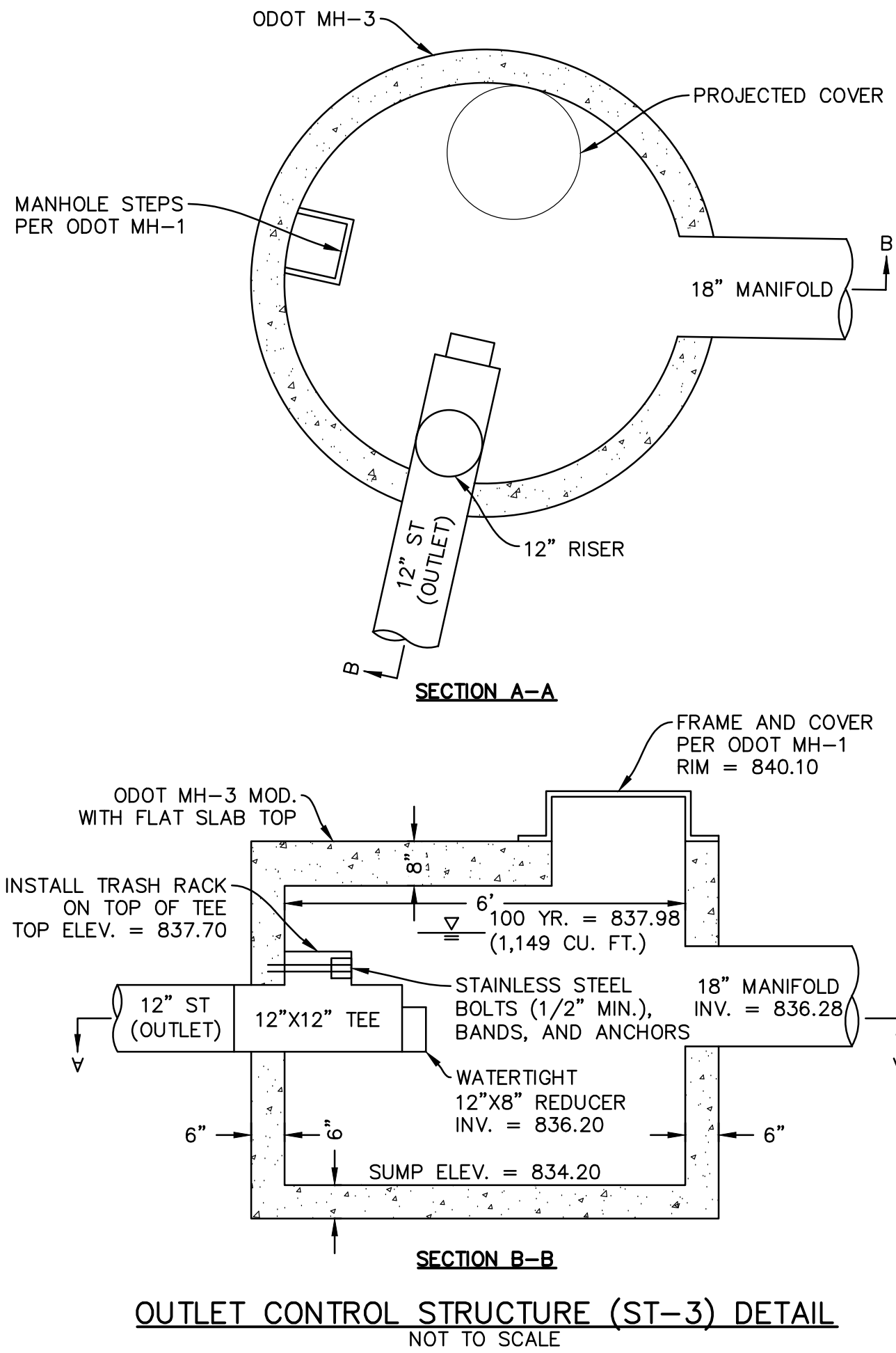
995 BRICE STREET
NEWARK, OHIO 43055
LICKING COUNTY

PROJECT NUMBER	24-124
DRAWING NUMBER	C401

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08.29.24	PERMIT SET
<div><div>STATE OF OHIO CODY W. BEUCLER 81760 REGISTERED PROFESSIONAL ENGINEER</div></div>	
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NEW CONSTRUCTION FOR NORTH CENTRAL INSULATION - NEWARK	
995 BRICE STREET NEWARK, OHIO 43055 LICKING COUNTY	
PROJECT NUMBER	24-124
STORM PROFILES	
DRAWING NUMBER	C402



SC-310 STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH SC-310.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE OR POLYETHYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2922 (POLYETHYLENE) OR ASTM F2418 (POLYPROPYLENE), "STANDARD SPECIFICATION FOR CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 400 LBS/FT². THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
 - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2922 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

NOTES FOR CONSTRUCTION EQUIPMENT

- STORMTECH SC-310 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- THE USE OF CONSTRUCTION EQUIPMENT OVER SC-310 & SC-740 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER TIED LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. IF ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

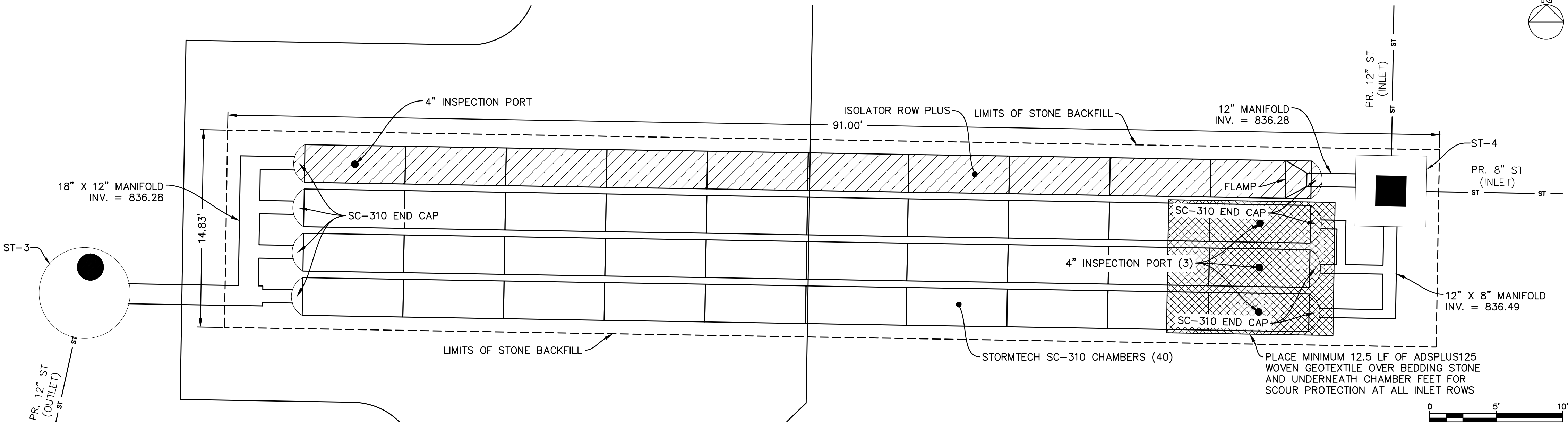
CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
- INSPECTION PORTS (IF PRESENT)
 - REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
 - REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 - USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- B. ALL ISOLATOR PLUS ROWS
- REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
 - USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
 - MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 - FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
- A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
 - APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKLUSH WATER IS CLEAN
 - VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

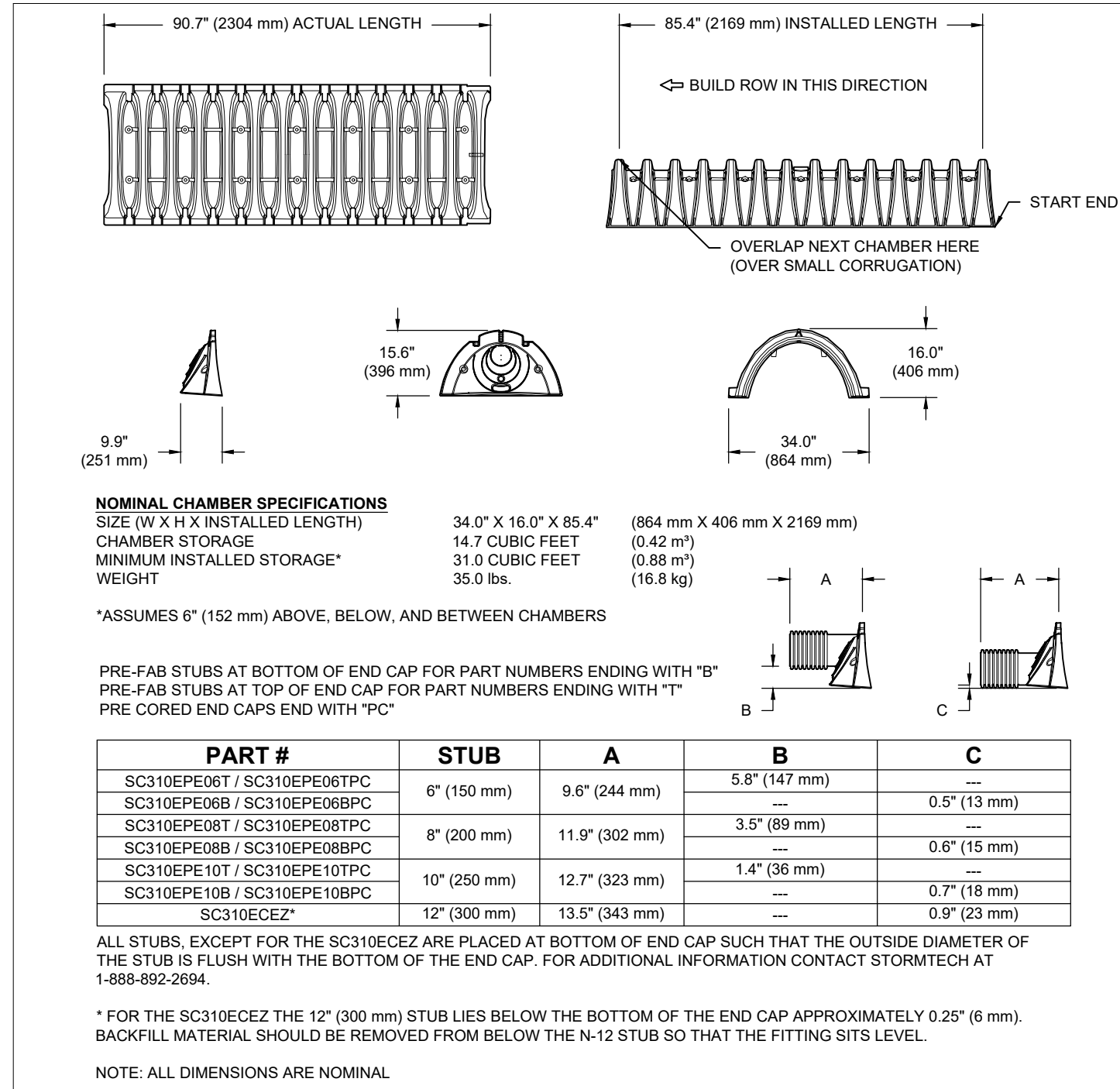
NOTES

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACUUMING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

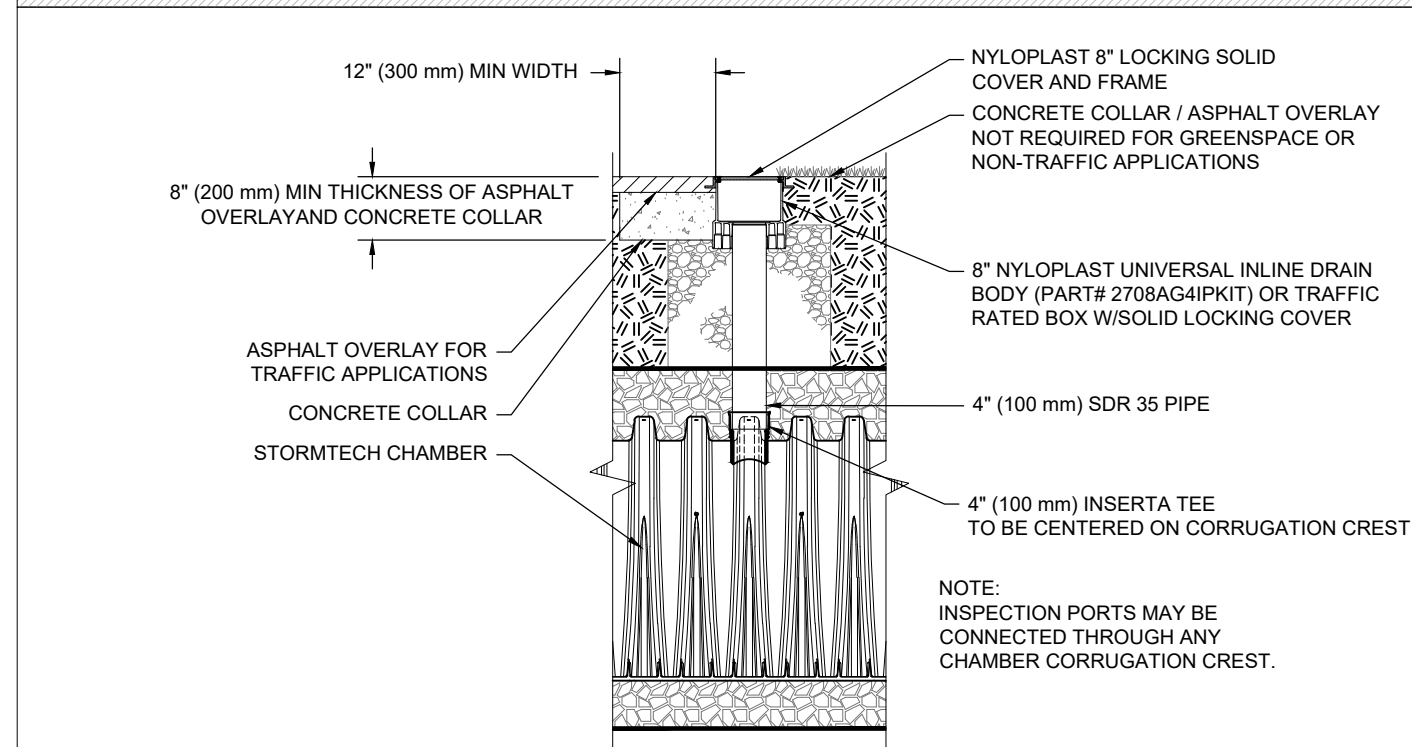


IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-310 SYSTEM

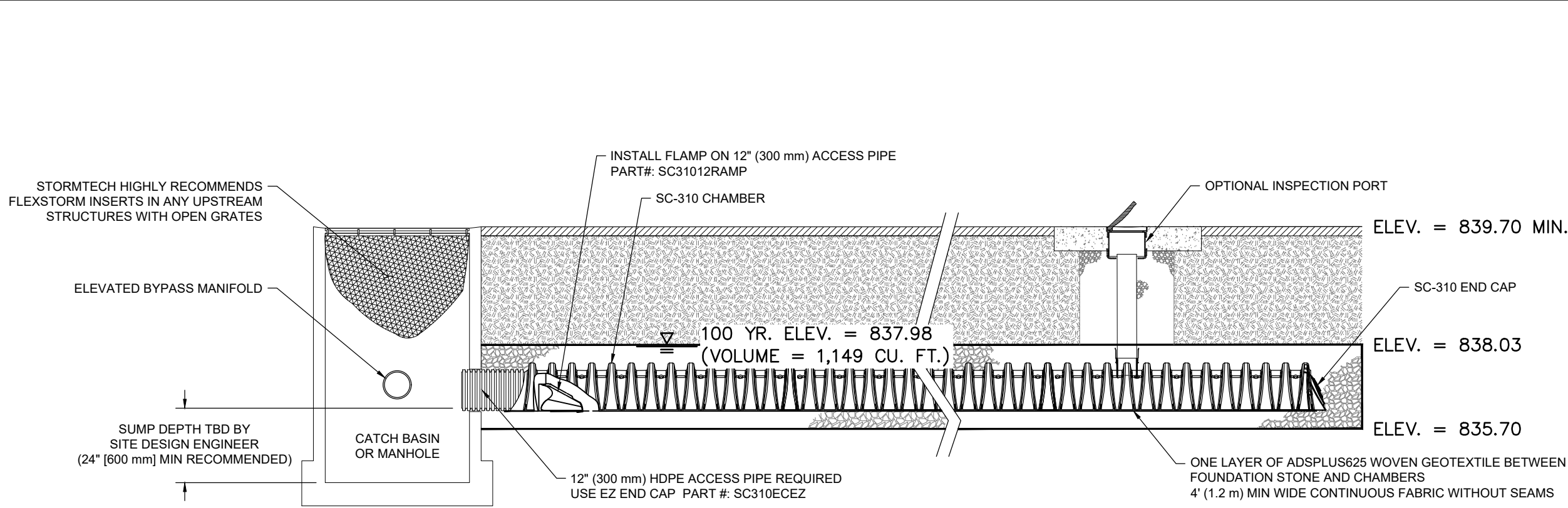
- STORMTECH SC-310 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH SC-310 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONESHOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM SPACING BETWEEN THE CHAMBER ROWS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4-2" (20-50 mm).
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.



SC-310 TECHNICAL SPECIFICATIONS



4\"/>



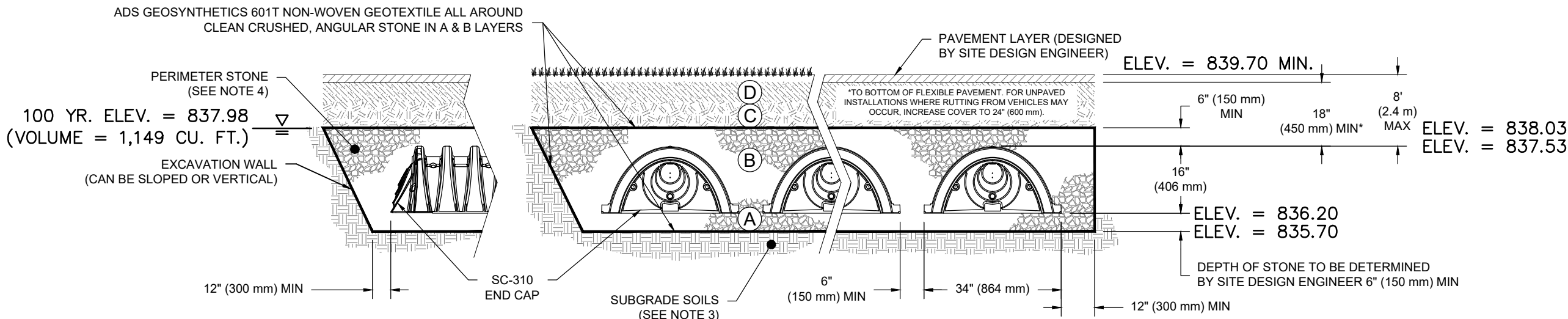
SC-310 ISOLATOR ROW PLUS DETAIL

ACCEPTABLE FILL MATERIALS: STORMTECH SC-310 CHAMBER SYSTEMS

	MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18\" (400 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M145' A-1, A-2-4, A-3 OR AASHTO M43' 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12\" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6\" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE ¹	AASHTO M43' 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE OR RECYCLED CONCRETE ¹	AASHTO M43' 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

PLEASE NOTE:

- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
- STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6\" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
- WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
- WHERE RECYCLED CONCRETE AGGREGATE IS USED IN LAYERS 'A' OR 'B' THE MATERIAL SHOULD ALSO MEET THE ACCEPTABILITY CRITERIA OUTLINED IN TECHNICAL NOTE 6.20 "RECYCLED CONCRETE STRUCTURAL BACKFILL".



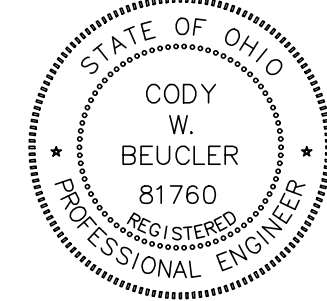
NOTES:

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2922 (POLYETHYLENE) OR ASTM F2418 (POLYPROPYLENE), "STANDARD SPECIFICATION FOR CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- STORMTECH CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2922 SHALL BE GREATER THAN OR EQUAL TO 400 LBS/FT². AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

SC-310 CROSS SECTION DETAIL

REVISIONS

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NEW CONSTRUCTION FOR NORTH CENTRAL INSULATION - NEWARK

995 BRICE STREET
NEWARK, OHIO 43055
LICKING COUNTY

PROJECT NUMBER

24-124

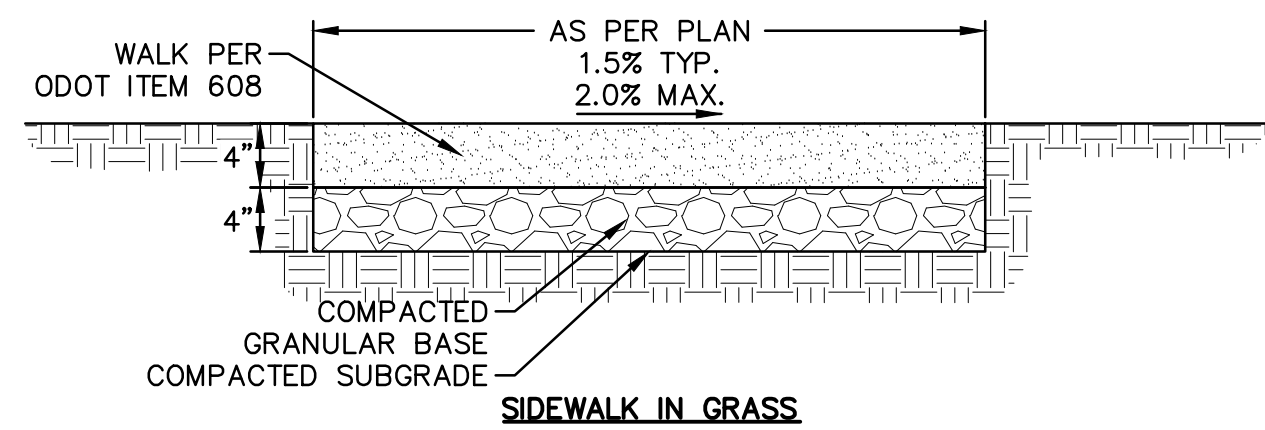
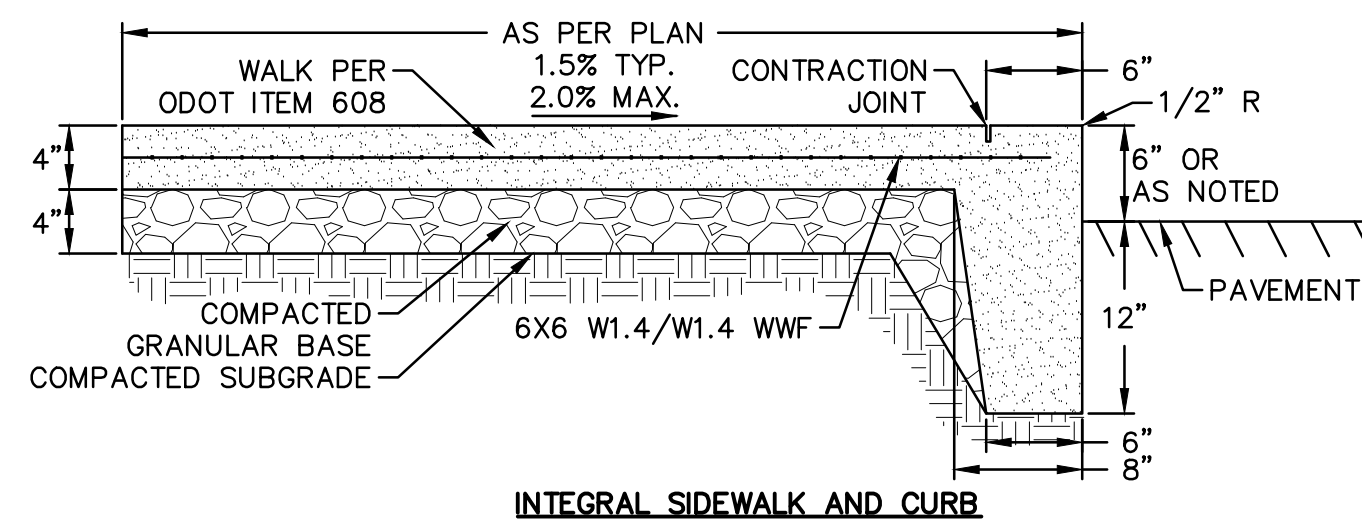
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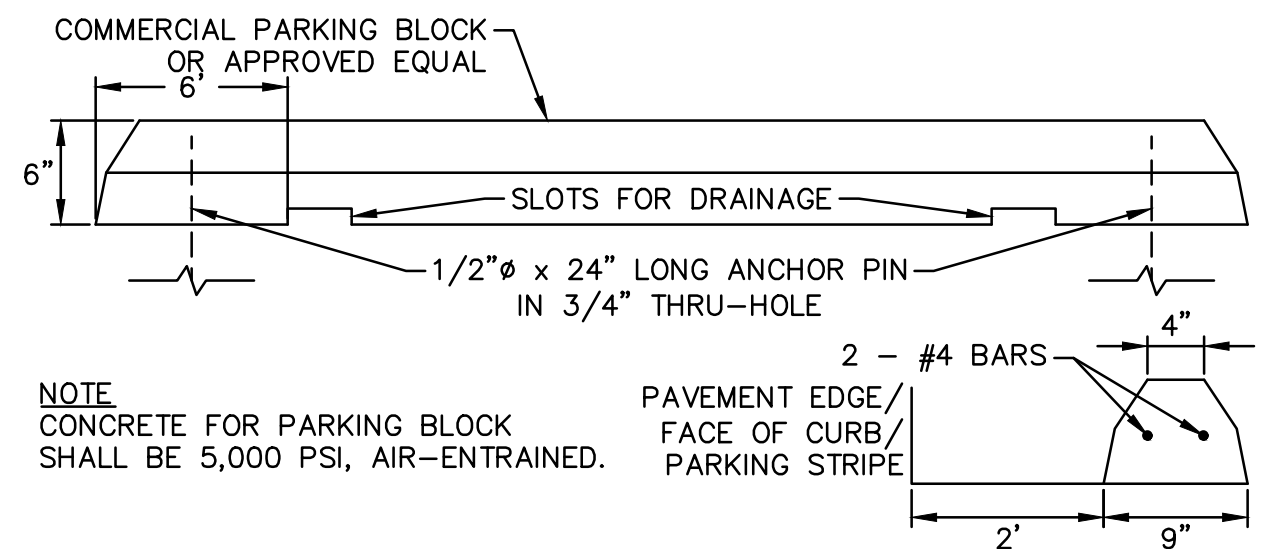
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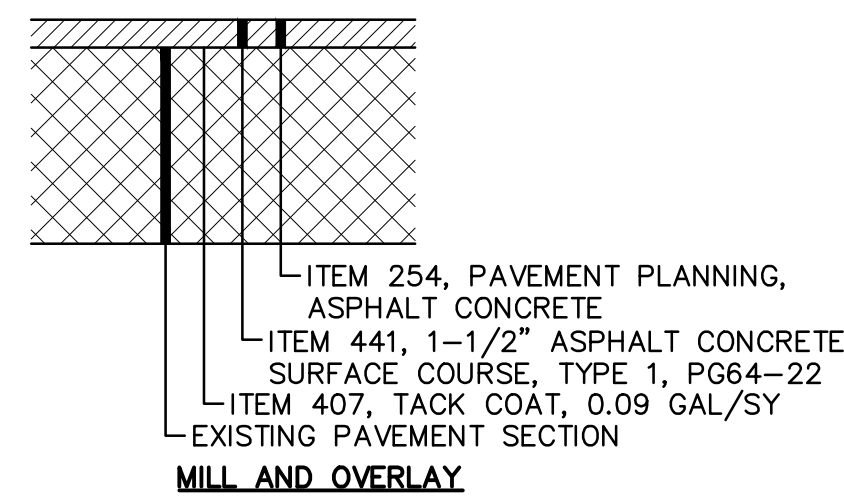
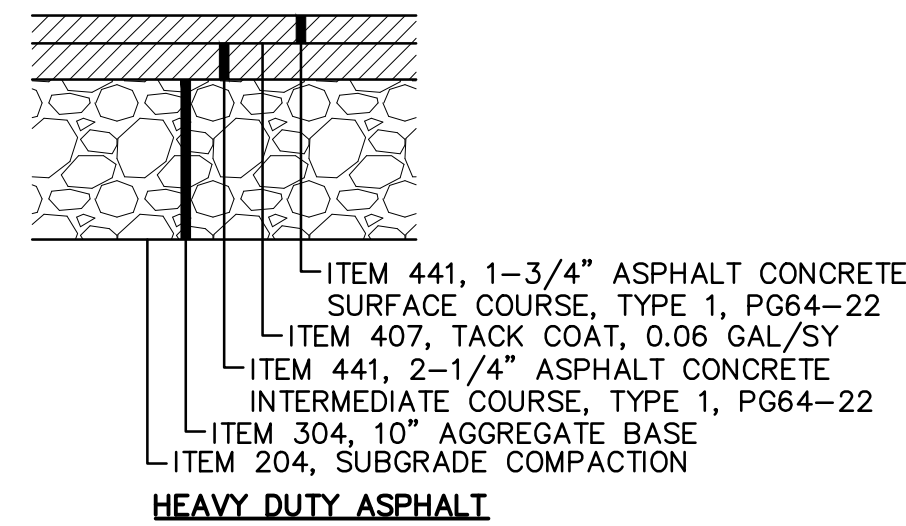
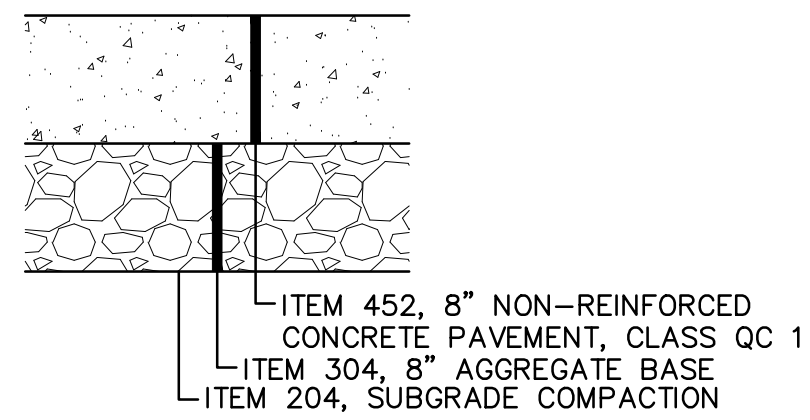
NOTES

1. PROVIDE LIGHT BROOM FINISH TO ALL EXPOSED SURFACES.
2. CONCRETE SHALL BE CLASS QC 1 PER ODOT ITEM 499.
3. ADD CONTRACTION JOINTS SPACED AT APPROX. 5' INTERVALS.
4. ADD 1/2" PREMOLED EXPANSION JOINT APPROX. EVERY 40 FT.
5. USE A 1/4" RADIUS EDGING TOOL TO EDGE ALL OUTSIDE EDGES AND JOINTS

CONCRETE SIDEWALK (1)
NOT TO SCALE

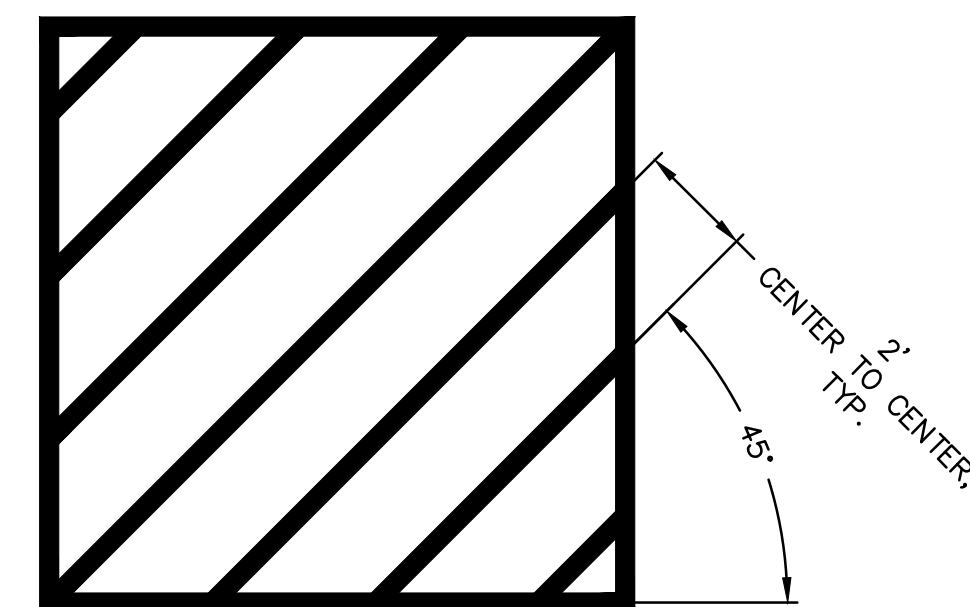


PARKING BLOCK (5)
NOT TO SCALE



ALL PAVEMENT MATERIALS SHALL CONFORM TO THE CURRENT VERSION OF THE OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS.

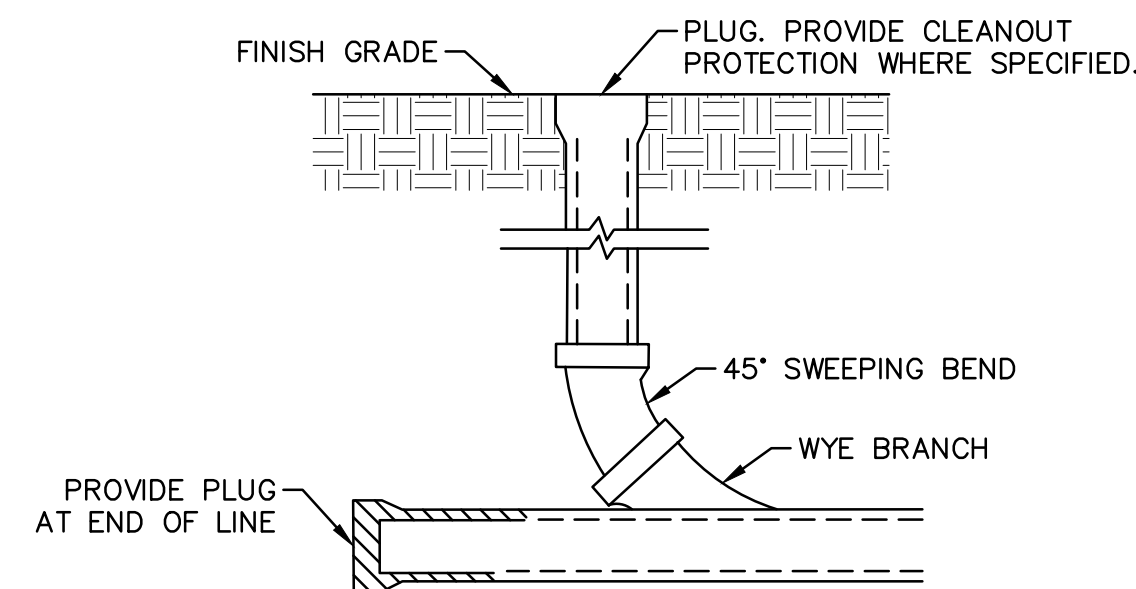
PAVEMENT SECTIONS



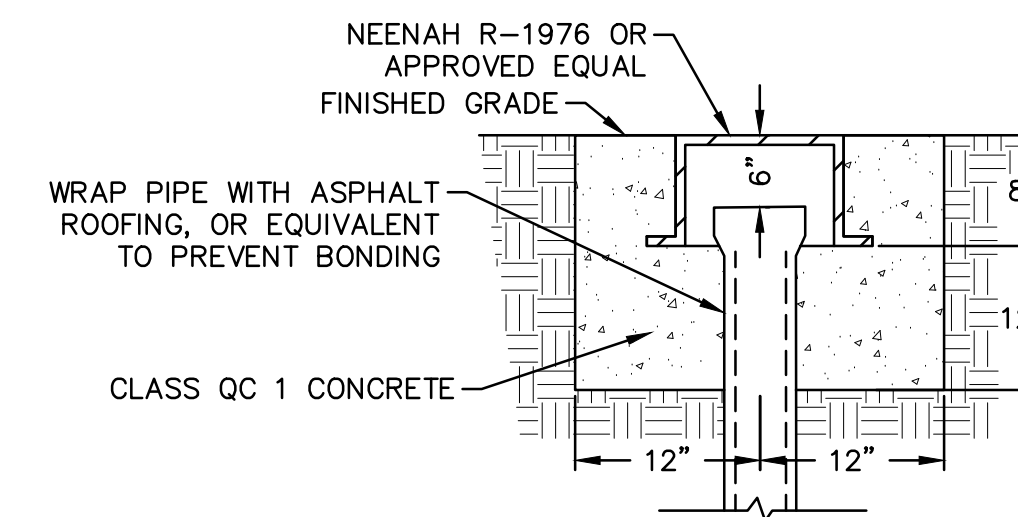
NOTES

1. ALL PAVEMENT STRIPES HAVE A WIDTH OF 4".
2. ALL PAVEMENT STRIPES ARE WHITE, UNLESS NOTED OTHERWISE.
3. PAVEMENT STRIPES SHALL CONFORM TO ODOT ITEM 640

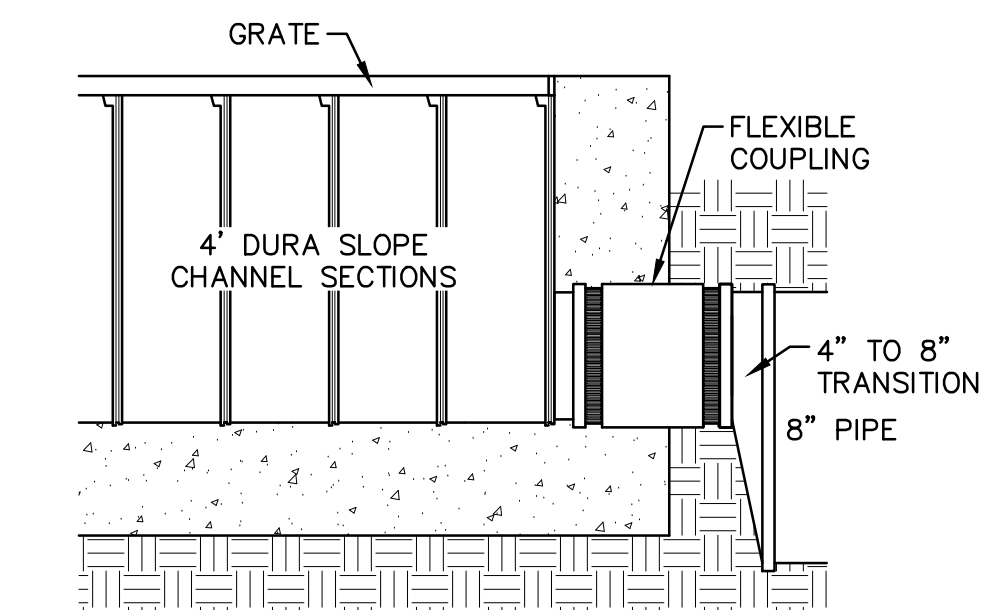
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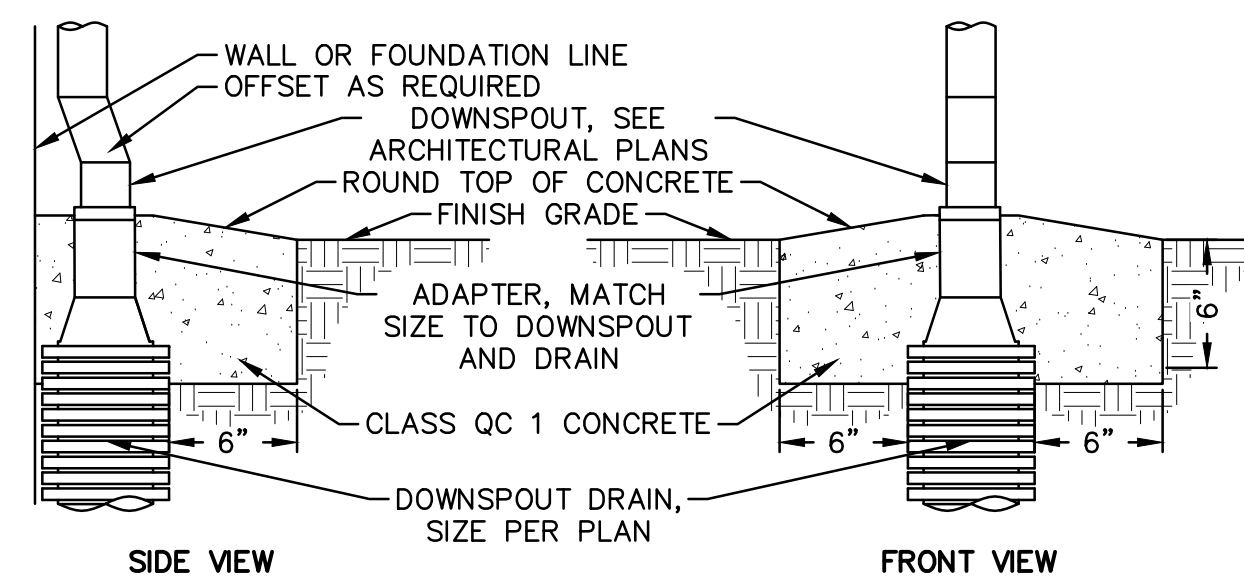
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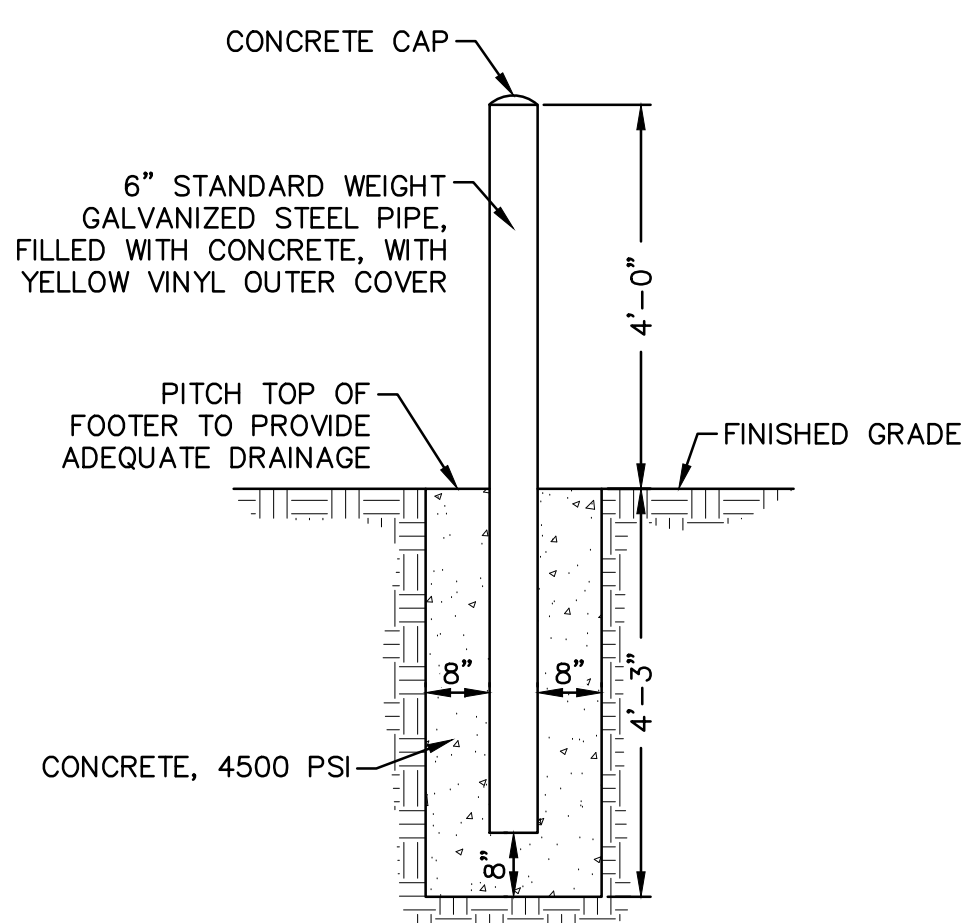
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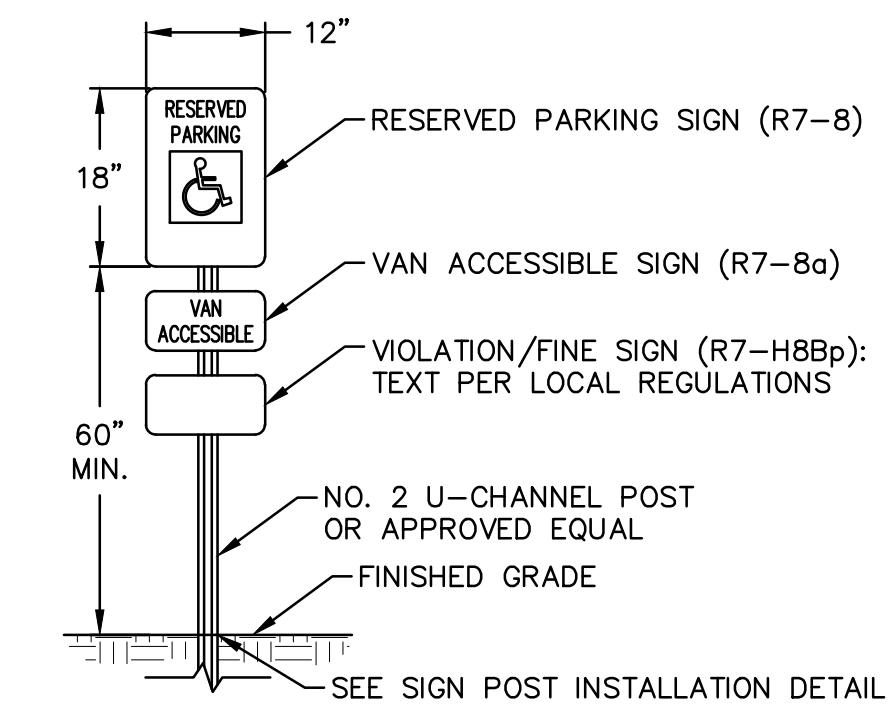
DURA SLOPE OUTLET END CONNECTION
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DOWNSPOUT ADAPTER (9)



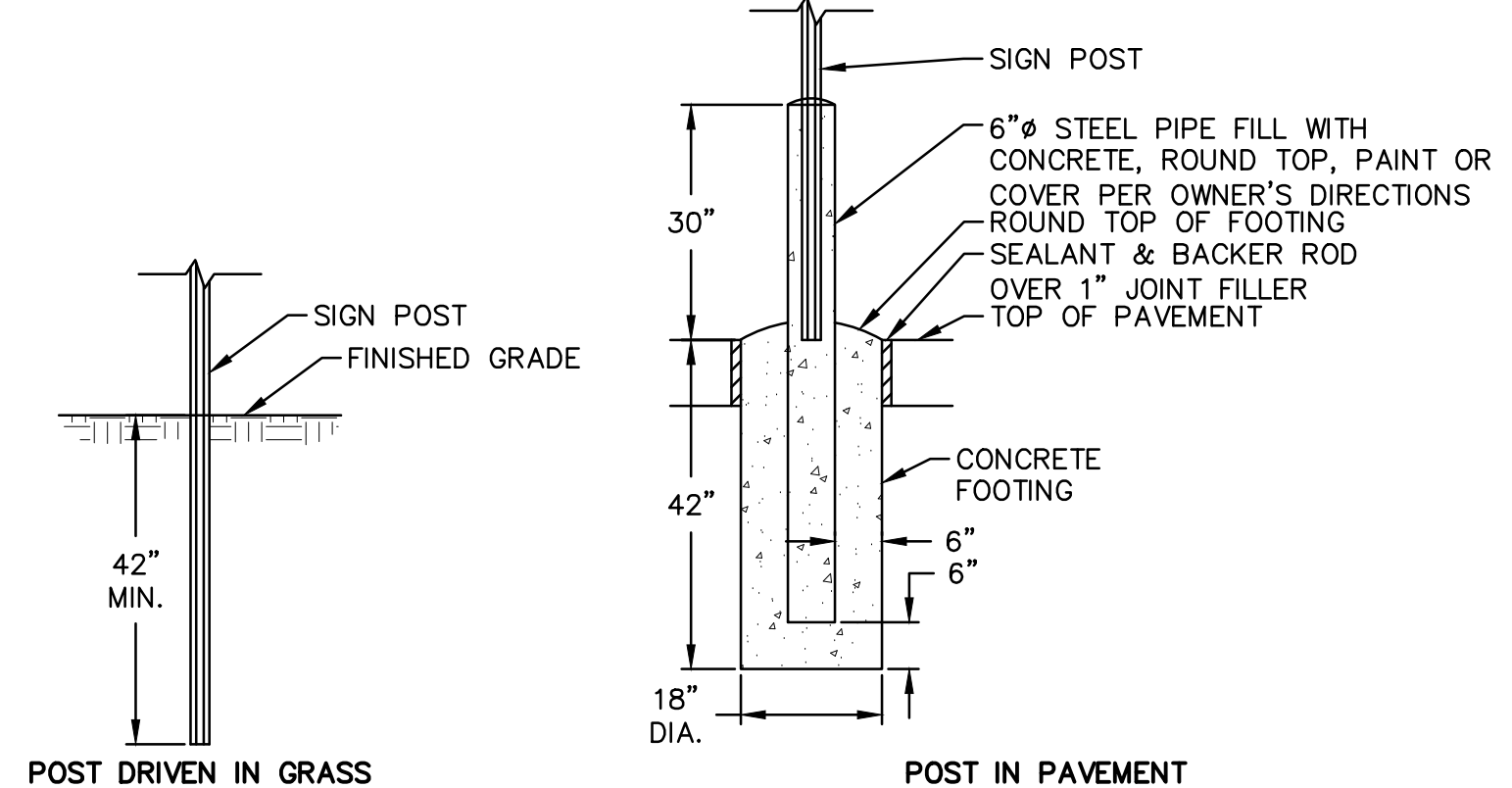
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NOT TO SCALE 10



NOTES

1. ACCESSIBLE PARKING SIGN SHALL CONFORM WITH CURRENT STATE AND LOCAL CODES AND REGULATIONS.

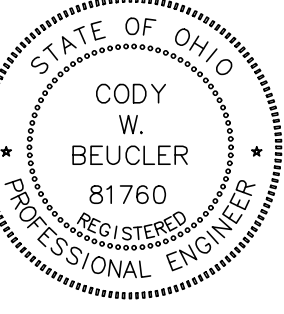
ACCESSIBLE PARKING SIGN (3)
NOT TO SCALE



SIGN POST INSTALLATION (4)
NOT TO SCALE



29.24	PERMIT SET



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NORTH CENTRAL INSULATION - NEWARK

NEWARK, OHIO 43055
LICKING COUNTY

PROJECT NUMBER
24-124

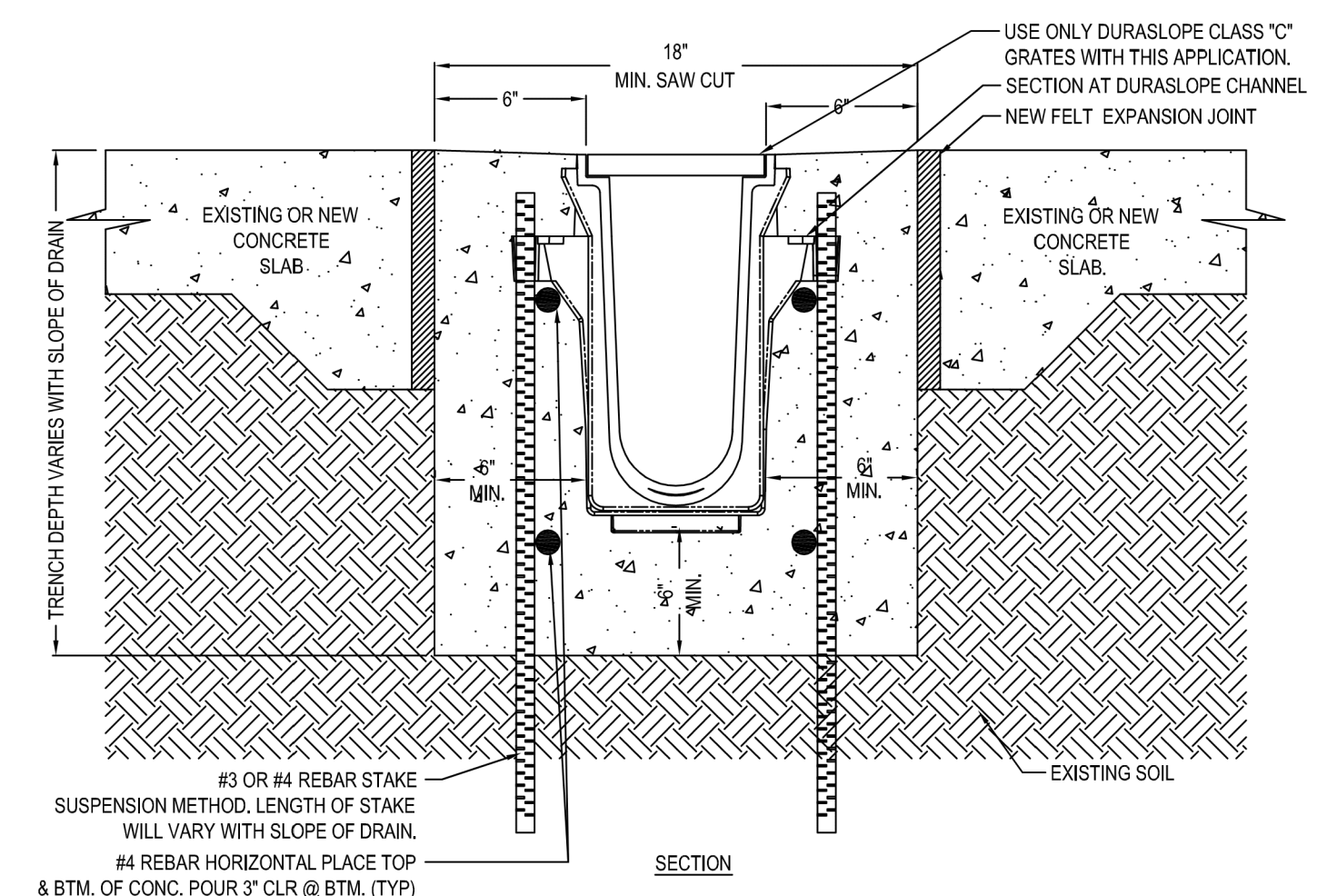
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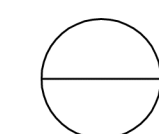


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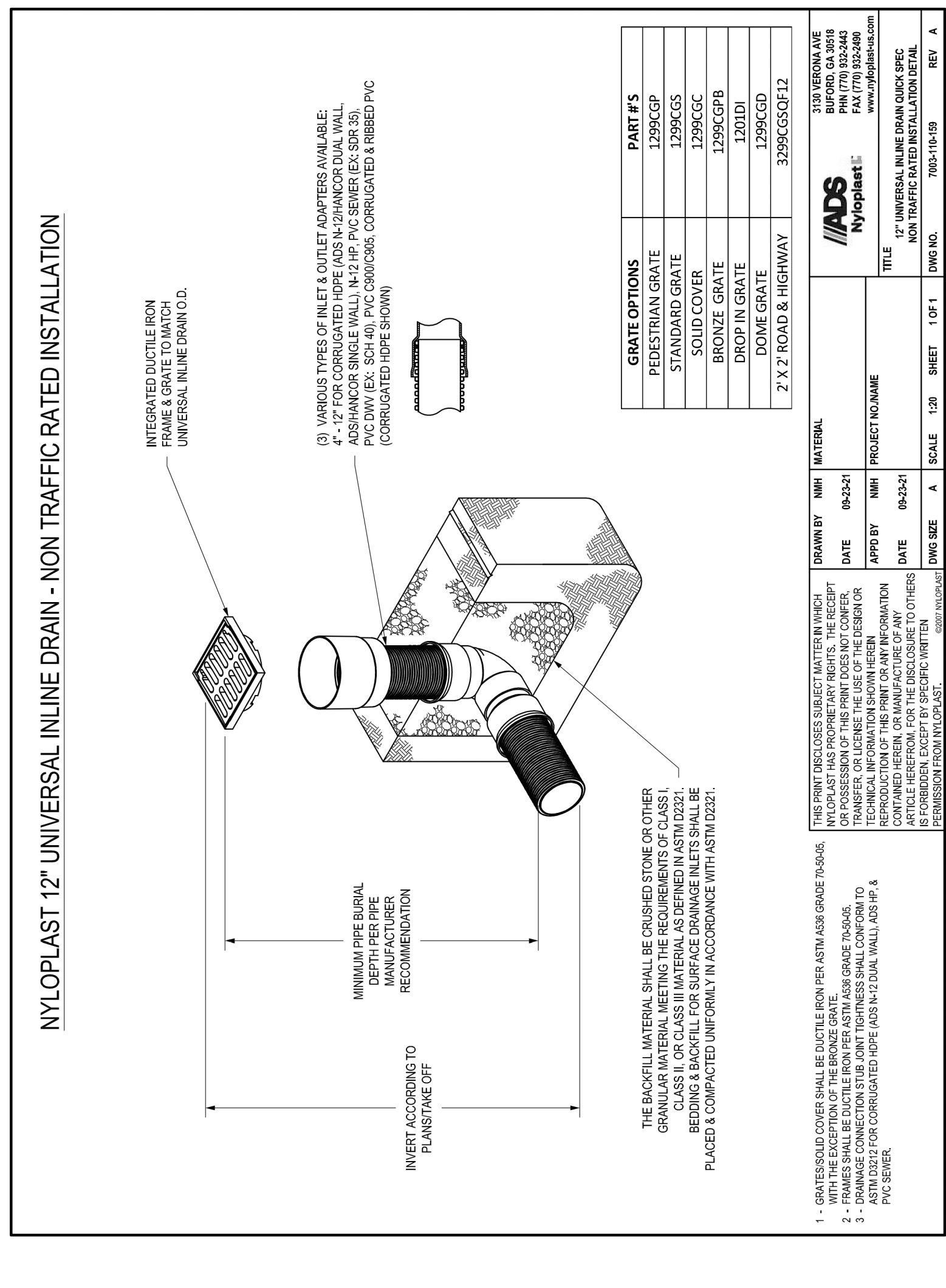
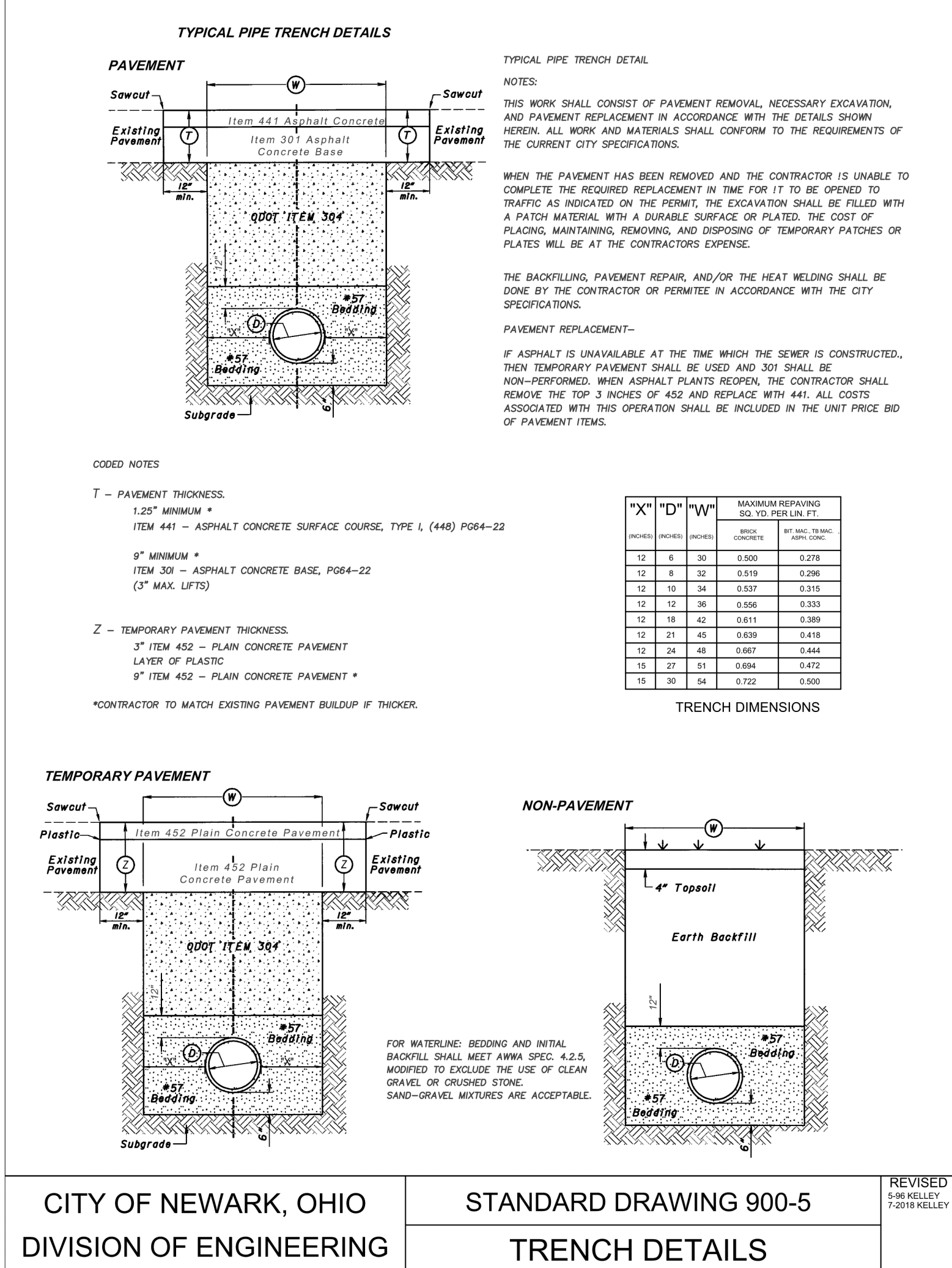
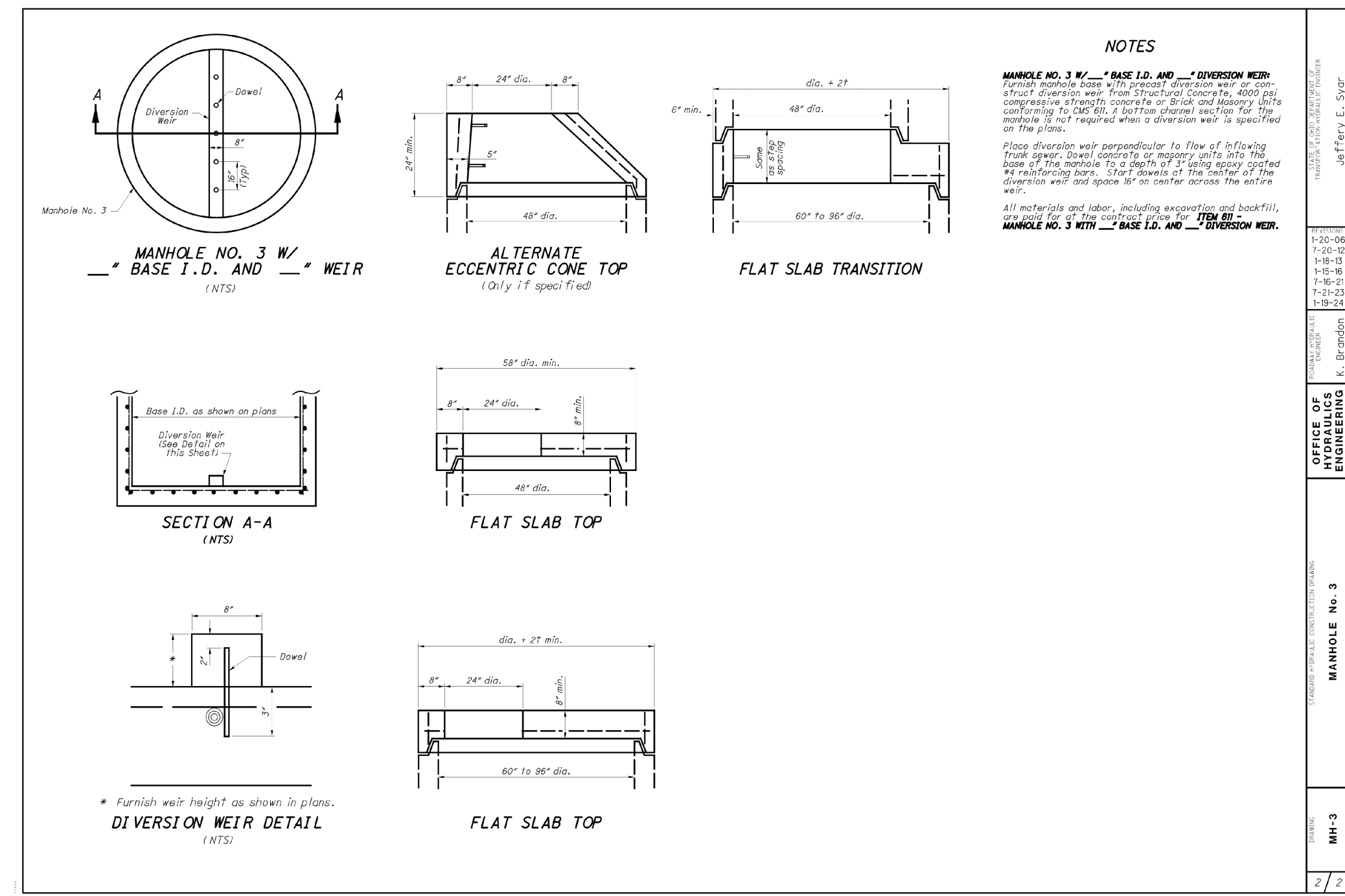
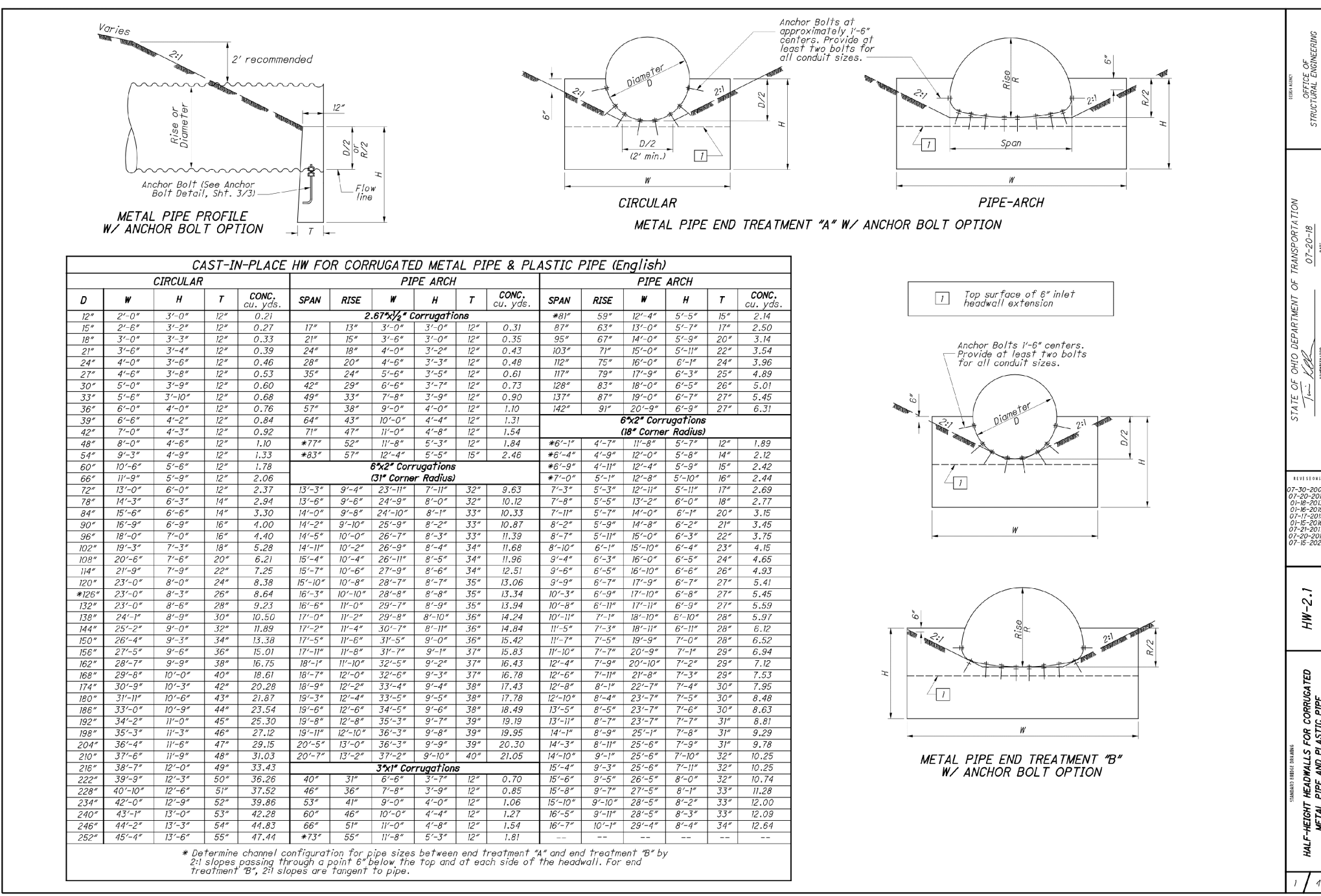
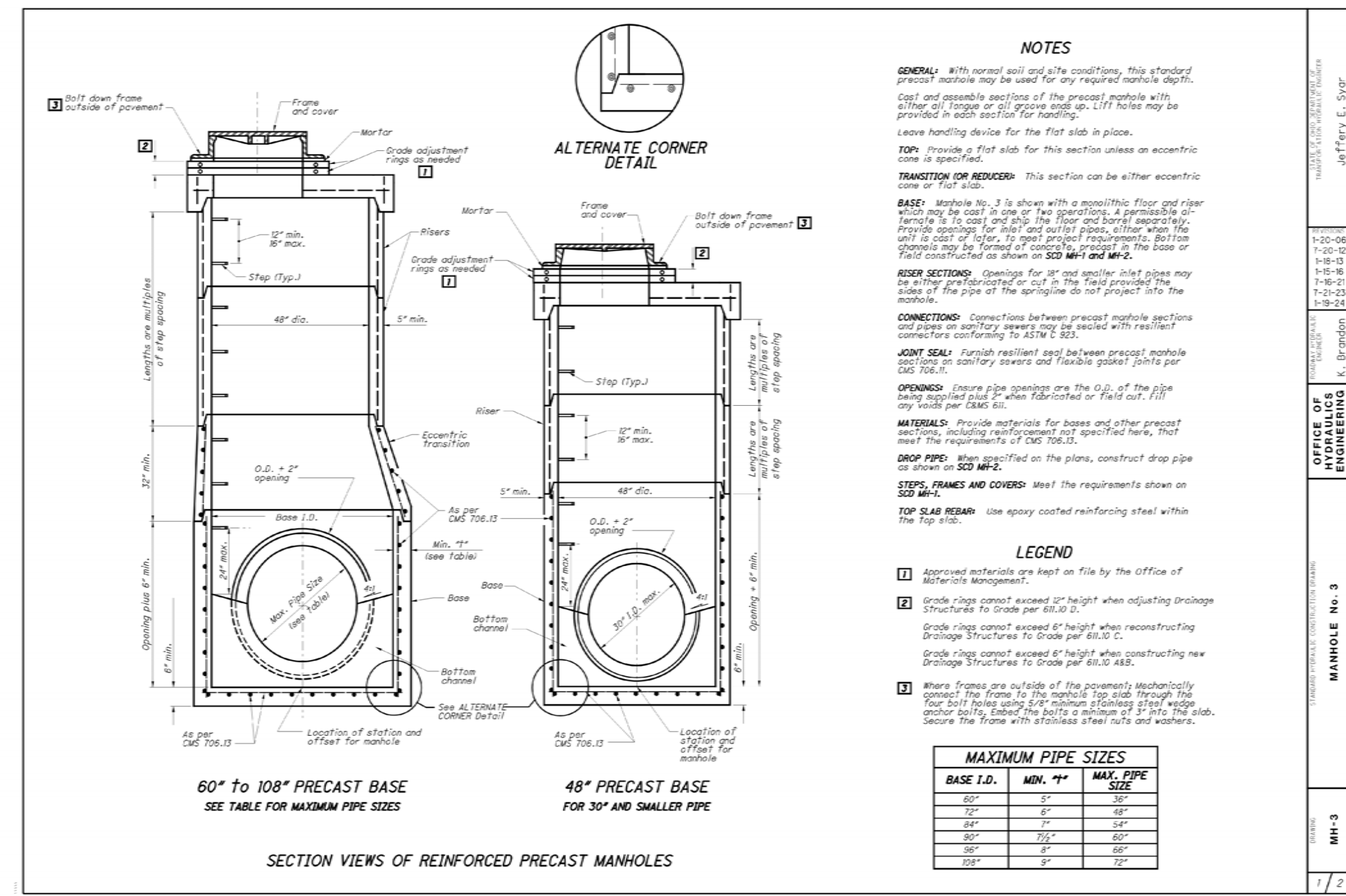
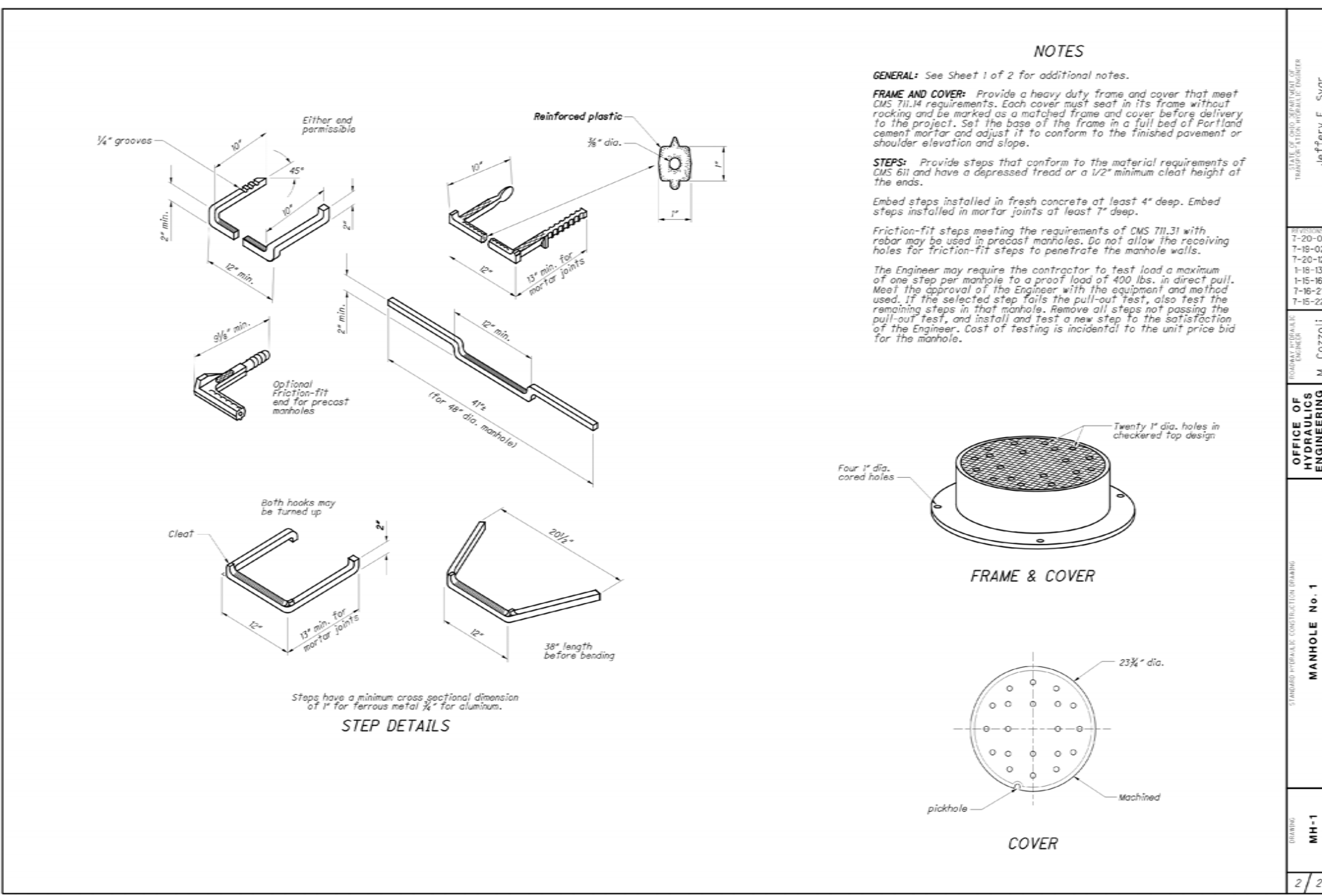
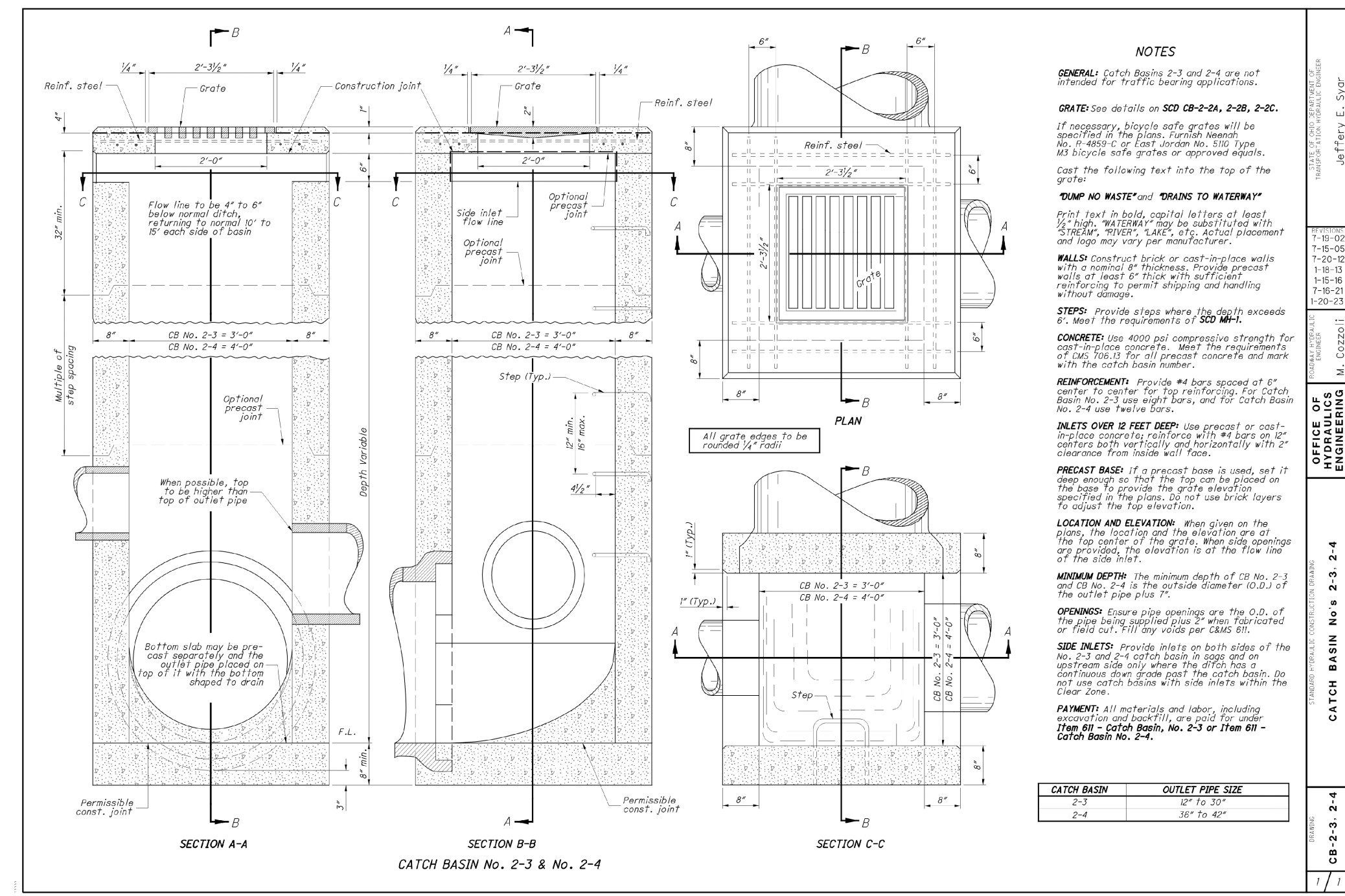
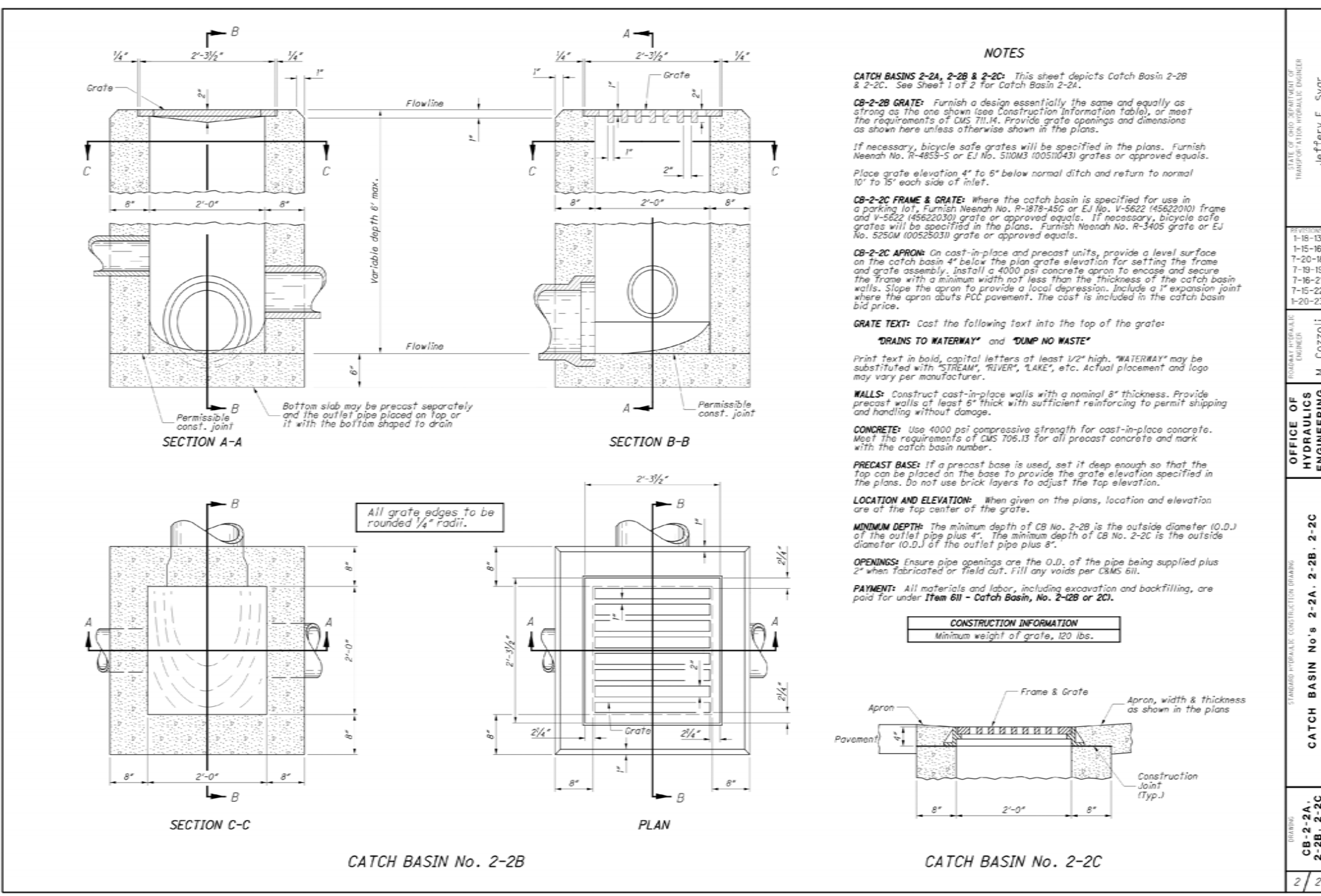
NOTES:

1. CHANNELS TO BE INSTALLED WITH BLANK GRATE. GRATE TO BE PROTECTED FROM CONCRETE POUR (COVER HOLES WITH TAPE).
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
3. DO NOT SCALE DRAWING.
4. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
5. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.



DURA SLOPE TRENCH DRAIN SYSTEM

REVISION DATE 3-5-2015



REVISIONS

NO.	DATE	DESCRIPTION
1	08.29.24	PERMIT SET

STATE OF OHIO
CODY W. BEUCER
81760
REGISTERED PROFESSIONAL ENGINEER

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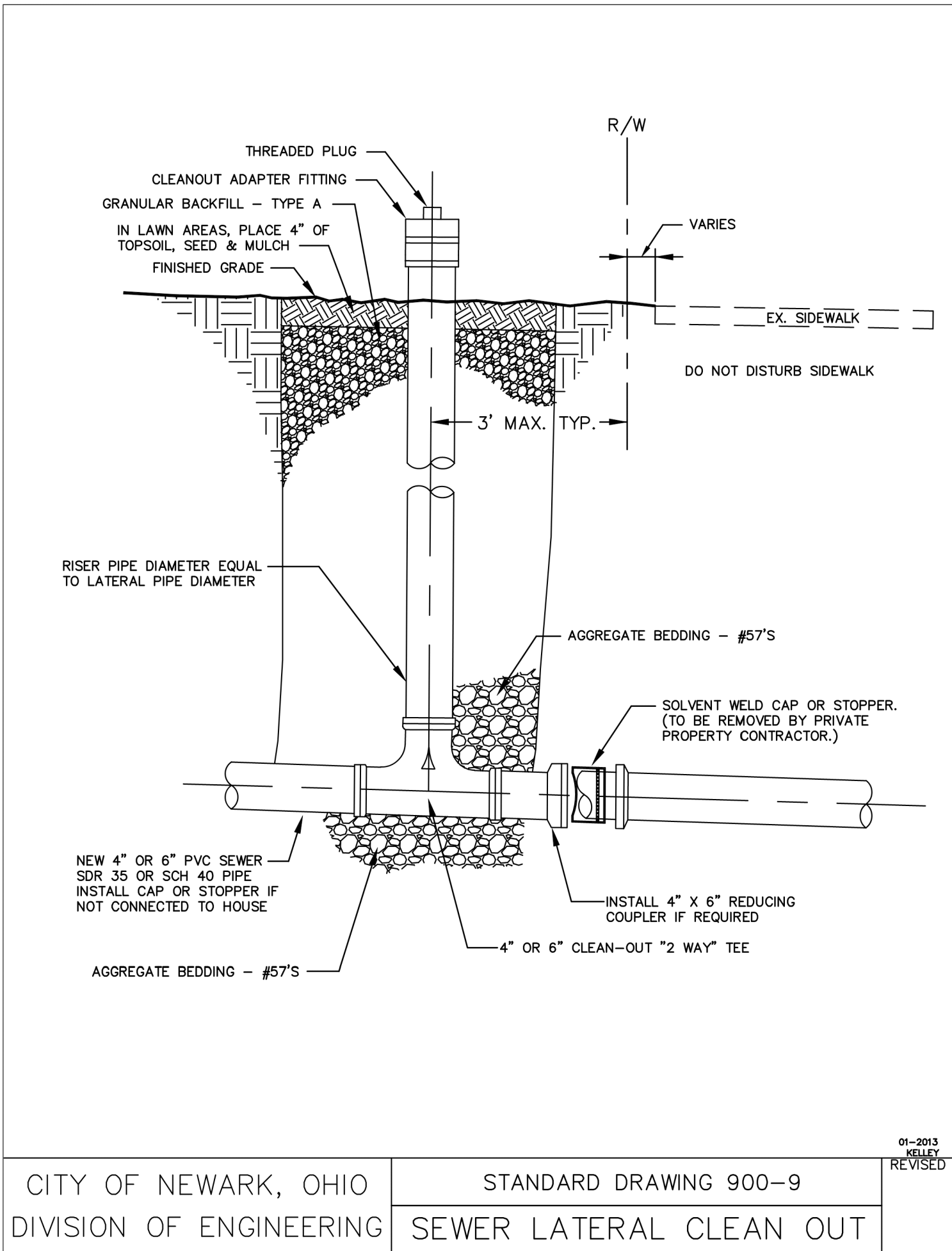
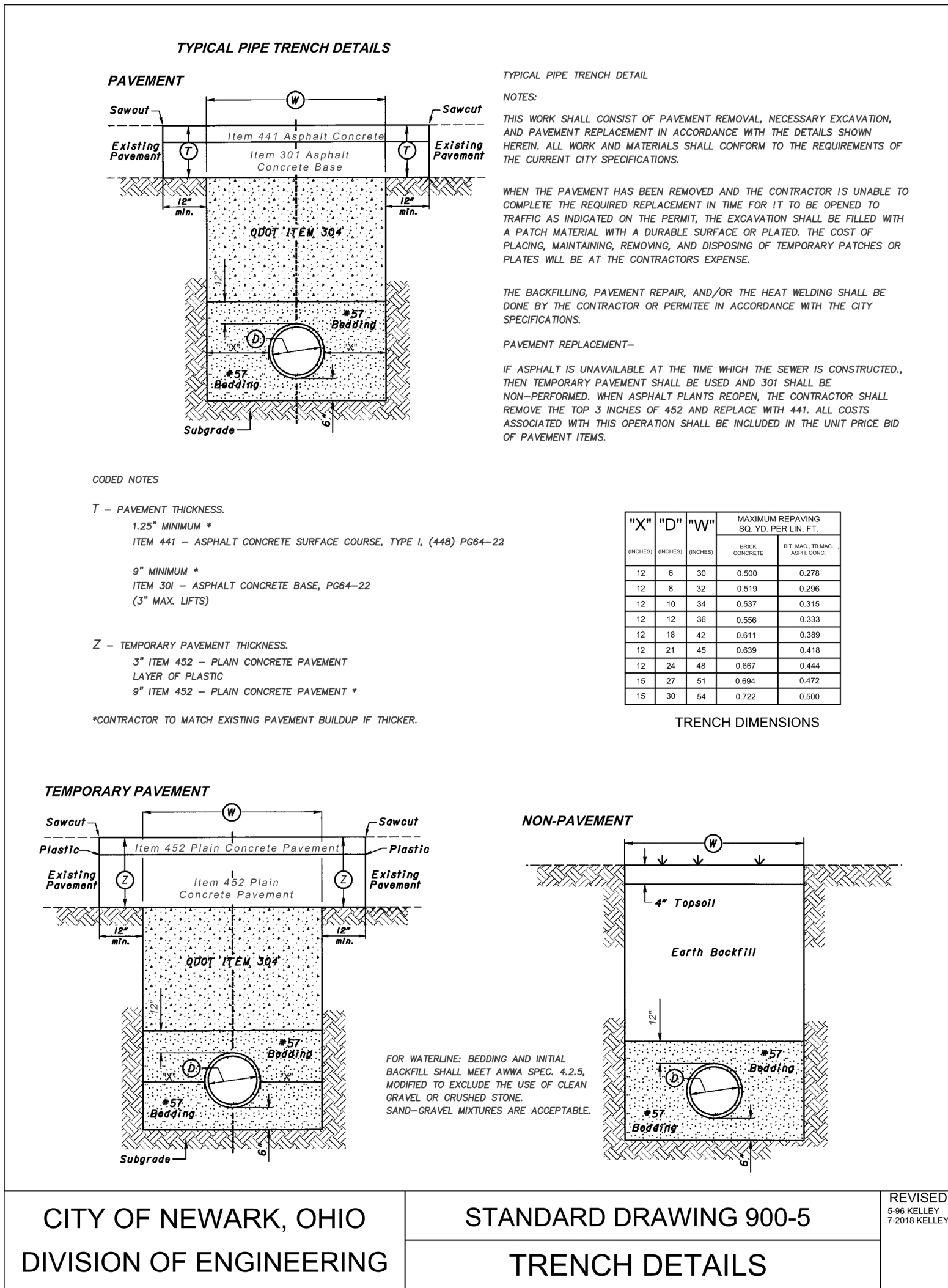
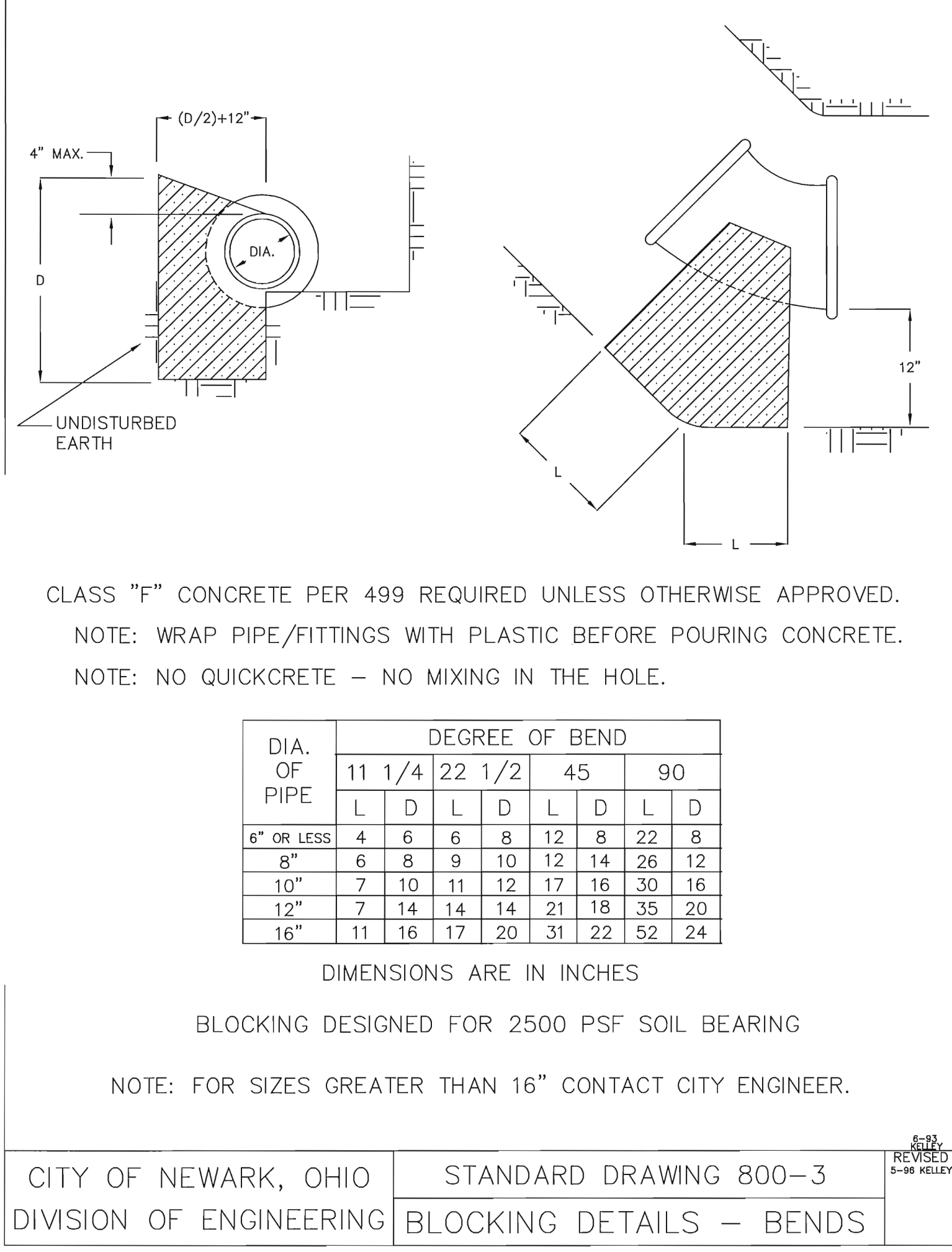
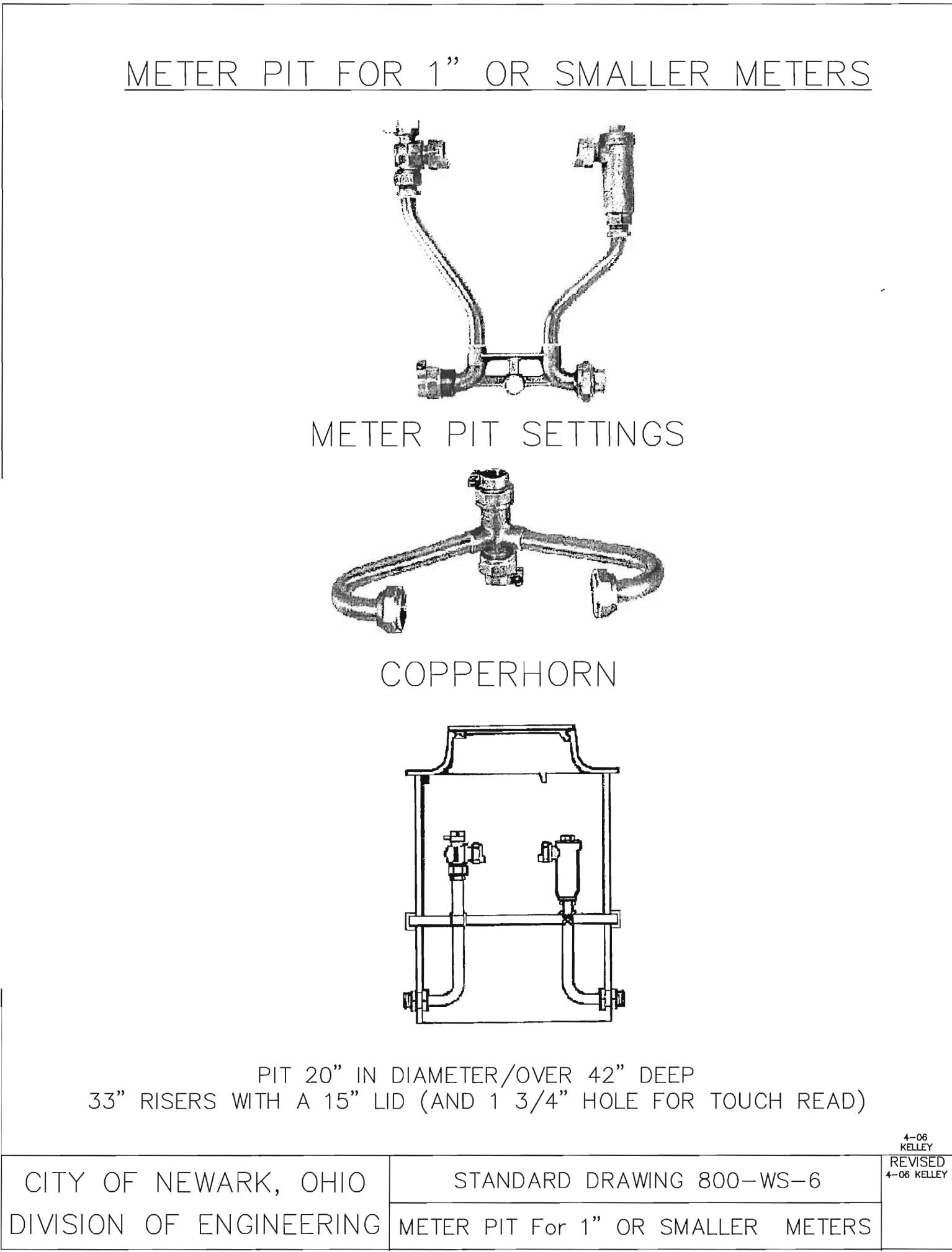
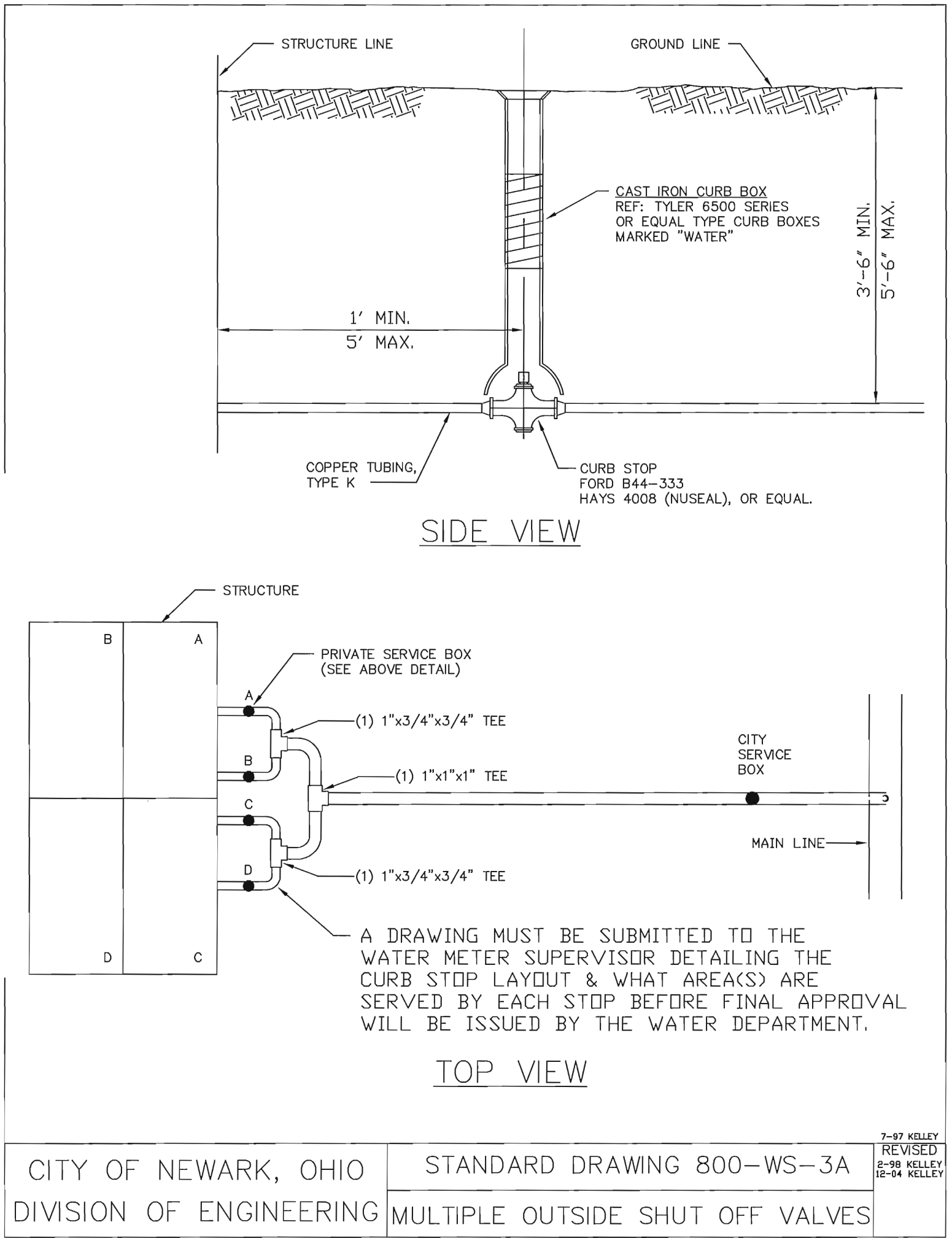
NEW CONSTRUCTION FOR
NORTH CENTRAL INSULATION -
NEWARK

995 BRICE STREET
NEWARK, OHIO 43055
LICKING COUNTY

PROJECT NUMBER
24-124

SITE DETAILS

DRAWING NUMBER
C503



REVISIONS

NO.	DATE	DESCRIPTION
08.29.24	PERMIT SET	

STATE OF OHIO
CODY W. BEUCLER
81760
REGISTERED PROFESSIONAL ENGINEER

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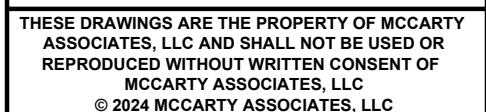
NEW CONSTRUCTION FOR
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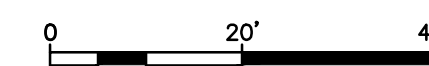
SITE DETAILS

DRAWING NUMBER
C504



995 BRICE STREET
NEWARK, OHIO 43055
LICKING COUNTY

PROJECT NUMBER
24-124
STORMWATER POLLUTION PREVENTION PLAN
DRAWING NUMBER
C601



FILTER SOCK
INLET PROTECTION
CONCRETE WASHOUT

CONSTRUCTION ENTRANCE. SEE DETAIL SHEET C602.

SEEDING AND MULCHING

AREA FOR STORAGE OR DISPOSAL OF SOLID,
SANITARY, OR TOXIC WASTES (INCLUDING DUMPSTER
AREAS) AND VEHICLE FUELING. LOCATION IS
APPROXIMATE. CONTRACTOR TO DETERMINE FINAL
PLACEMENT.

SITE DESCRIPTION

PROJECT NAME AND LOCATION

NORTH CENTRAL INSULATION – NEWARK
995 BRICE STREET
NEWARK, OHIO 43055
LATITUDE: 40.063377
LONGITUDE: –82.363819

OWNER/DEVELOPER

NORTH CENTRAL INSULATION
7539 STATE ROUTE 13
BELLEVILLE, OHIO 44813
CONTACT: RHETT DUDGEON
PHONE: (800) 433–5176
EMAIL: RDUDGEON@NCI–INS.COM

SITE CONTACT

CONTACT: RHETT DUDGEON
PHONE: (800) 433–5176
EMAIL: RDUDGEON@NCI–INS.COM

PROJECT DESCRIPTION

CONSTRUCTION OF A NEW STORAGE WAREHOUSE AT THE EXISTING NORTH CENTRAL INSULATION FACILITY, INCLUDING ASSOCIATED PARKING, DRIVES, AND UTILITIES. SOIL DISTURBING ACTIVITIES WILL INCLUDE: CLEARING AND GRUBBING; PERIMETER, AND OTHER EROSION AND SEDIMENT CONTROLS; GRADING; EXCAVATION AND EMBANKMENT, STORM SEWER, UTILITIES, ASPHALT AND CONCRETE PAVING AND FINAL PLANTING AND SEEDING.

EXISTING SITE DESCRIPTION

THE SUBJECT PROPERTY IS AN EXISTING INDUSTRIAL WAREHOUSE FACILITY WITH A VACANT FIELD ON THE WEST SIDE.

SITE AREA

THE SITE IS APPROXIMATELY 2.27 ACRES OF WHICH 0.94 ACRES WILL BE DISTURBED BY CONSTRUCTION ACTIVITIES.

RUNOFF COEFFICIENT

PRE–DEVELOPMENT RUNOFF COEFFICIENT – 0.35
POST–DEVELOPMENT RUNOFF COEFFICIENT – 0.73

SOIL TYPES

O&a – OCKLEY–URBAN LAND COMPLEX, 0 TO 3 PERCENT SLOPES

SEQUENCE OF CONSTRUCTION OPERATIONS

THE ORDER OF ACTIVITIES WILL BE AS FOLLOWS:

1. ESTABLISH A CONSTRUCTION ENTRANCE/EXIT
2. INSTALL PERIMETER CONTROLS
3. CLEAR AND GRUB
4. FULL SITE GRADING
5. PILE TOPSOIL WITHIN SILT FENCE PERIMETER
6. INSTALL UNDERGROUND DETENTION BASIN AND OUTLET CONTROL STRUCTURE
7. INSTALL PERMANENT STORM SEWER AND INLET PROTECTION
8. INSTALL REMAINING UTILITIES
9. CONSTRUCT CURBS, PAVEMENT, AND SIDEWALKS
10. FINAL GRADING AND INSTALL PERMANENT SEEDING
11. REMOVE PERIMETER CONTROLS
12. INSPECT AND REMOVE ANY ACCUMULATED SEDIMENT FROM THE BASIN.

NAME OF RECEIVING SURFACE WATER BODY

DITCH ALONG STATE ROUTE 16 TRIBUTARY TO SHAWNEE RUN

GENERAL NOTES

ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH ALL LOCAL EROSION/SEDIMENT CONTROL, WASTE DISPOSAL, SANITARY AND HEALTH REGULATIONS.

ALL EROSION AND SEDIMENT CONTROL PRACTICES MUST MEET THE STANDARDS AND SPECIFICATIONS OF THE OHIO RAINWATER AND LAND DEVELOPMENT HANDBOOK (2006).

OTHER EROSION CONTROL ITEMS MAY BE NECESSARY DUE TO ENVIRONMENTAL CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND IMPLEMENTATION OF ADDITIONAL EROSION CONTROL ITEMS, AT THE ENGINEER’S DISCRETION.

REGULAR INSPECTION AND MAINTENANCE WILL BE PROVIDED FOR ALL EROSION AND SEDIMENT CONTROL PRACTICES.

THE CONTRACTOR SHALL USE EROSION CONTROL MEASURES AS NECESSARY TO PREVENT SEDIMENT MOVEMENT INTO AREAS DESIGNATED AS WETLANDS.

NO SOLID OR LIQUID WASTE SHALL BE DISCHARGED INTO STORM WATER RUNOFF.

ADDITIONAL EROSION AND SEDIMENT CONTROL BMP’S MAY BE REQUIRED AS IDENTIFIED BY THE SWPPP INSPECTOR.

SWPPP INSPECTOR: OWNER/CONTRACTOR SHALL SUBMIT INSPECTOR NAME AND RESUME

EROSION AND SEDIMENT CONTROLS

STABILIZATION PRACTICES

TEMPORARY STABILIZATION: TOP SOIL STOCK PILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR OVER 14 DAYS WILL BE STABILIZED WITH TEMPORARY SEED AND MULCH NO LATER THAN 7 DAYS OR WITHIN 2 DAYS FOR AREAS WITHIN 50 FEET OF A STREAM. THE TEMPORARY SEED SHALL BE APPLIED AS PER THE TEMPORARY SEEDING SPECIFICATIONS. AREAS OF THE SITE WHICH ARE TO BE PAVED WILL BE TEMPORARILY STABILIZED BY APPLYING GEOTEXTILE AND STONE SUB–BASE UNTIL ASPHALT PAVEMENT CAN BE APPLIED.

PERMANENT STABILIZATION: DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASES SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OR WITHIN 2 DAYS FOR AREAS WITHIN 50 FEET OF A STREAM.

STABILIZATION TYPE	J	F	M	A	M	J	J	A	S	O	N	D
PERMANENT SEEDING			•	•	•	•	•	•	•	•	•	•
DORMANT SEEDING	•	•	•	•	•	•	•	•	•	•	•	•
TEMPORARY SEEDING			•	•	•	•	•	•	•	•	•	•
SODDING			•	•	•	•	•	•	•	•	•	•
MULCHING			•	•	•	•	•	•	•	•	•	•

- * – IRRIGATION NEEDED
- ** – IRRIGATION NEEDED FOR 2–3 WEEKS AFTER SOD IS APPLIED

STORMWATER MANAGEMENT

STORMWATER DRAINAGE WILL BE PROVIDED THROUGH TRENCH DRAINS, YARD DRAINS, AND CATCH BASINS ROUTED TO AN UNDERGROUN DETENTION BASIN. THE BASIN UTILIZES AN OUTLET STRUCTURE TO RELEASE THE STORMWATER TO THE DITCH ALONG STATE ROUTE 16 AND ULTIMATELY INTO SHAWNEE RUN.

OTHER CONTROLS

WASTE DISPOSAL

ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER RENTED FROM A LICENSED SOLID WASTE MANAGEMENT COMPANY. THE DUMPSTER WILL MEET ALL LOCAL, CITY AND STATE SOLID WASTE MANAGEMENT REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED A MINIMUM OF TWICE PER WEEK OR MORE OFTEN IF NECESSARY, AND THE TRASH WILL BE HAULED OFF–SITE. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ONSITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED IN THE OFFICE TRAILER. THE INDIVIDUAL WHO MANAGES THE DAY–TO–DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED. ALL CONSTRUCTION AND DEMOLITION DEBRIS (C&DD) WASTE WILL BE DISPOSED OF IN AN OHIO EPA APPROVED C&DD LANDFILL AS REQUIRED BY ORC 3714.

HAZARDOUS WASTE

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES. THE INDIVIDUAL WHO MANAGES DAY–TO–DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

SANITARY WASTE

ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF THREE TIMES PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR, AS REQUIRED BY LOCAL REGULATION.

OFF–SITE VEHICLE TRACKING

OFF–SITE TRACKING OF SEDIMENTS SHALL BE MINIMIZED. A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. ALL PAVED STREETS ADJACENT TO THE SITE WILL BE SWEEP DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARP/AULIN.

DEWATERING ACTIVITIES

THERE SHALL BE NO TURBID DISCHARGES TO SURFACE WATERS, RESULTING FROM DEWATERING ACTIVITIES. SEDIMENT–LADEN WATER MUST PASS THROUGH A SETTLING POND, FILTER BAG, OR OTHER COMPARABLE PRACTICE, PRIOR TO DISCHARGE.

PROCESS WASTEWATER

ALL PROCESS WASTEWATER (EQUIPMENT WASHING, LEACHATE FROM ON–SITE WASTE DISPOSAL, ETC.) SHALL BE COLLECTED AND DISPOSED OF AT A PUBLICLY OWNED TREATMENT WORKS.

TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, CONSTRUCTION ENTRANCE(S) AND SILT FENCE WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY OTHER PORTIONS OF THE SITE. SEDIMENT CONTROL DEVICES SHALL BE IMPLEMENTED PRIOR TO GRADING FOR ALL AREAS REMAINING DISTURBED LONGER THAN 14 DAYS AND/OR WITHIN 7 DAYS OF ANY GRUBBING ACTIVITIES. DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 14 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN 2 DAYS IF THE AREA IS WITHIN 50 FEET OF A STREAM, AND WITHIN 7 DAYS IF THE AREA IS MORE THAN 50 FEET AWAY FROM A STREAM. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, THAT AREA WILL BE STABILIZED WITH PERMANENT SEED AND MULCH WITHIN 2 DAYS IF THE AREA IS WITHIN 50 FEET OF A STREAM AND WITHIN 7 DAYS IF THE AREA IS MORE THAN 50 FEET FROM A STREAM. AFTER THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE BASIN.

INVENTORY FOR POLLUTION PREVENTION PLAN

CONSTRUCTION ENTRANCE	DANDY BAG
CONCRETE WASHOUT	DANDY CURB BAG
SILT FENCE	TEMPORARY SEEDING & MULCHING
FILTER SOCK	PERMANENT SEEDING & MULCHING
TEMPORARY SEDIMENT BASIN	DANDY DEWATERING BAG
FILTER FABRIC INLET PROTECTION	

SPILL PREVENTION

MATERIAL MANAGEMENT PRACTICES

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORMWATER RUNOFF.

GOOD HOUSEKEEPING: THESE GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.

1. AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
2. ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
3. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER’S LABEL.
4. SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
5. WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
6. MANUFACTURERS’ RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
7. THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ONSITE.

HAZARDOUS PRODUCTS: THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.

1. PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
2. ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION.
3. IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURERS’ OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

PRODUCT SPECIFIC PRACTICES

THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ONSITE:

PETROLEUM PRODUCTS: ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER’S RECOMMENDATIONS.

FUEL STORAGE TANKS SHALL BE LOCATED AWAY FROM SURFACE WATERS AND STORM SEWER SYSTEM INLETS. FUEL TANKS SHALL BE STORED IN A DIKED AREA CAPABLE OF HOLDING 150% OF THE TANK CAPACITY.

FERTILIZERS: FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER. STORAGE WILL BE IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS: ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS’ INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS: CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

DUST CONTROL

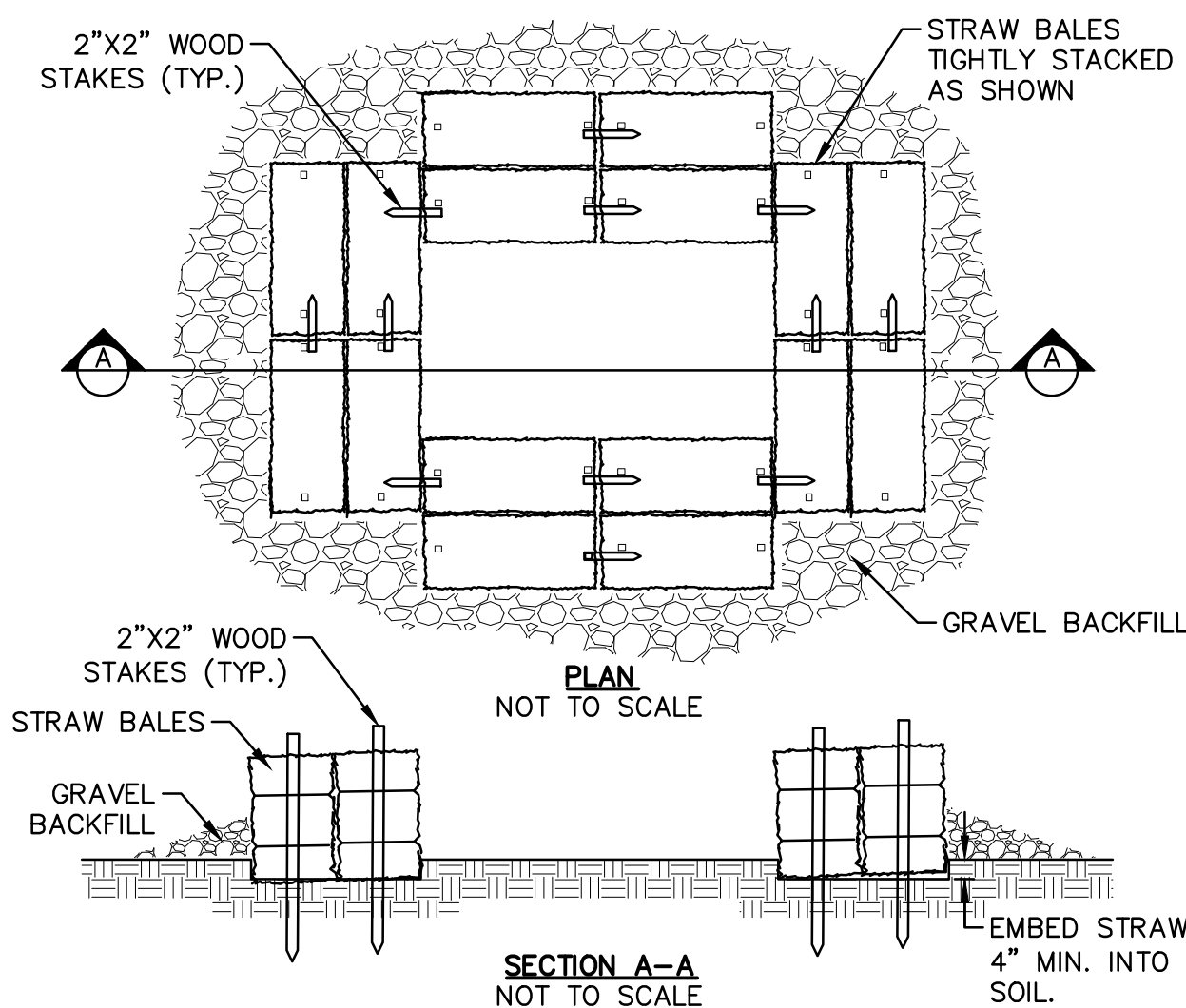
DUST CONTROL INVOLVES PREVENTING OR REDUCING DUST FROM EXPOSED SOILS OR OTHER SOURCES DURING LAND DISTURBING, DEMOLITION AND CONSTRUCTION ACTIVITIES TO REDUCE THE PRESENCE OF AIRBORNE SUBSTANCES WHICH MAY PRESENT HEALTH HAZARDS, TRAFFIC SAFETY PROBLEMS OR HARM ANIMAL OR PLANT LIFE.

THE FOLLOWING SPECIFICATIONS FOR DUST CONTROL SHALL BE FOLLOWED ONSITE:

1. **VEGETATIVE COVER AND/MULCH:** APPLY TEMPORARY OR PERMANENT SEEDING AND MULCH TO AREAS THAT WILL REMAIN IDLE FOR OVER 21 DAYS. SAVING EXISTING TREES AND LARGE SHRUBS WILL ALSO REDUCE SOIL AND AIR MOVEMENT ACROSS DISTURBED AREAS. SEE TEMPORARY SEEDING; PERMANENT SEEDING; MULCHING PRACTICES; AND TREE AND NATURAL AREA PROTECTION PRACTICES.
2. **WATERING:** SPRAY SITE WITH WATER UNTIL THE SURFACE IS WET BEFORE AND DURING GRADING AND REPEAT AS NEEDED, ESPECIALLY ON HAUL ROADS AND OTHER HEAVY TRAFFIC ROUTES. WATERING SHALL BE DONE AT A RATE THAT PREVENTS DUST BUT DOES NOT CAUSE SOIL EROSION. WETTING AGENTS SHALL BE UTILIZED ACCORDING TO MANUFACTURERS’ INSTRUCTIONS.
3. **SPRAY–ON ADHESIVES:** APPLY ADHESIVE ACCORDING TO THE FOLLOWING TABLE OR MANUFACTURERS’ INSTRUCTIONS.

ADHESIVE	WATER DILUTION (ADHESIVE:WATER)	NOZZLE TYPE	APPLICATION RATE GAL./AC.
LATEX EMULSION	12.5:1	FINE	235
RESIN IN WATER ACRYLIC EMULSION (NO–TRAFFIC)	4:1	FINE	300
ACRYLIC EMULSION (NO–TRAFFIC)	7:1	COARSE	450
ACRYLIC EMULSION (TRAFFIC)	3.5:1	COARSE	350
4. **STONE:** GRADED ROADWAYS AND OTHER SUITABLE AREAS WILL BE STABILIZED USING CRUSHED STONE OR COARSE GRAVEL AS SOON AS PRACTICABLE AFTER REACHING AN INTERIM OR FINAL GRADE. CRUSHED STONE OR COARSE GRAVEL CAN BE USED AS A PERMANENT COVER TO PROVIDE CONTROL OF SOIL EMISSIONS.
5. **BARRIERS:** EXISTING WINDBREAK VEGETATION SHALL BE MARKED AND PRESERVED. SNOW FENCING OR OTHER SUITABLE BARRIER MAY BE PLACED PERPENDICULAR TO PREVAILING AIR CURRENTS AT INTERVALS OF ABOUT 15 TIMES THE BARRIER HEIGHT TO CONTROL AIR CURRENTS AND BLOWING SOIL.
6. **CALCIUM CHLORIDE:** THIS CHEMICAL MAY BE APPLIED BY MECHANICAL SPREADER AS LOOSE, DRY GRANULES OR FLAKES AT A RATE THAT KEEPS THE SURFACE MOIST BUT NOT SO HIGH AS TO CAUSE WATER POLLUTION OR PLANT DAMAGE. APPLICATION RATES SHOULD BE STRICTLY IN ACCORDANCE WITH SUPPLIERS’ SPECIFIED RATES.
7. **OPERATION AND MAINTENANCE:** WHEN TEMPORARY DUST CONTROL MEASURES ARE USED, REPETITIVE TREATMENT SHOULD BE APPLIED AS NEEDED TO ACCOMPLISH CONTROL.
8. **STREET CLEANING:** PAVED AREAS THAT HAVE ACCUMULATED SEDIMENT FROM CONSTRUCTION SHOULD BE CLEANED DAILY, OR AS NEEDED, UTILIZING A STREET SWEEPER OR BUCKET – TYPE ENDLOADER OR SCRAPER.

CONCRETE WASHOUT



CONSTRUCTION SPECIFICATIONS:

1. THE RESIDUE OR CONTENTS OF ALL CONCRETE MIXERS, DUMP TRUCKS, OTHER CONVEYANCE EQUIPMENT AND FINISHING TOOLS SHALL BE WASHED INTO CONCRETE CLEAN–OUT STRUCTURES CONSISTING OF A STRAW BALE BARRIER WITH GRAVEL BACKFILL. THE LENGTH AND WIDTH OF THESE STRUCTURES SHALL BE AS DETERMINED BY THE CONTRACTOR TO FACILITATE THE PARTICULAR EQUIPMENT USED. THESE STRUCTURES SHALL BE CONSTRUCTED ON LEVEL GROUND AT LEAST 100’ FROM THE NEAREST WATERCOURSE, DRAINAGE SWALE OR INLET. AT NO TIME SHALL THE STRUCTURE BE ALLOWED TO BE MORE THAN 50% FULL. THE CONTRACTOR SHALL MAINTAIN THESE PONDS UNTIL ALL CONCRETE PLACEMENT IS COMPLETE FOR THE PROJECT.
2. EMBED THE STRAW BALES 4” INTO THE SOIL. PROVIDE TWO ROWS OF BALES, AS SHOWN ON THE DETAIL, WITH ENDS AND CORNERS TIGHTLY ABUTING. ORIENT THE STRAW BALES LENGTHWISE WITH BINDINGS AROUND THE SIDES OF THE BALES SO THE WIRE DOES NOT CONTACT THE SOIL. DRIVE 2”x2” WOOD STAKES THROUGH EACH BALE, TO SECURELY ANCHOR THE BALE AND CONNECT ADJACENT BALES. GRAVEL BACKFILL SHALL BE PROVIDED AND TAMPED AROUND THE OUTSIDE PERIMETER OF THE BALES TO PREVENT EROSION AND FLOW AROUND THE BALES.
3. THE INTENT OF THESE STRUCTURES IS TO COLLECT ALL CONCRETE WASH OUT WATER AND ALLOW IT TO DRY TO A SOLID MATERIAL. AFTER DRYING, THE SOLID MATERIAL CAN BE REMOVED WITH A LOADER OR EXCAVATOR FOR PROPER DISPOSAL. WASH OUT WILL NOT BE PERMITTED IN ANY OTHER AREAS.
4. USE THE MINIMUM AMOUNT OF WATER TO WASH THE VEHICLES AND EQUIPMENT. NEVER DISPOSE OF WASH OUT INTO THE STREET, STORM INLET, DRAINAGE SWALE OR WATERCOURSE. DISPOSE OF SMALL AMOUNTS OF EXCESS DRY CONCRETE, GROUT AND MORTAR IN THE TRASH. ANY SOAPS THAT ARE UTILIZED SHALL BE PHOSPHATE–FREE AND BIODEGRADABLE.
5. ADDITIONAL CONCRETE CLEAN–OUT STRUCTURES SHALL BE CONSTRUCTED WITHIN THE SPECIFIED AREA AS NEEDED BASED UPON THE VOLUME OF WASH OUT GENERATED DAILY.

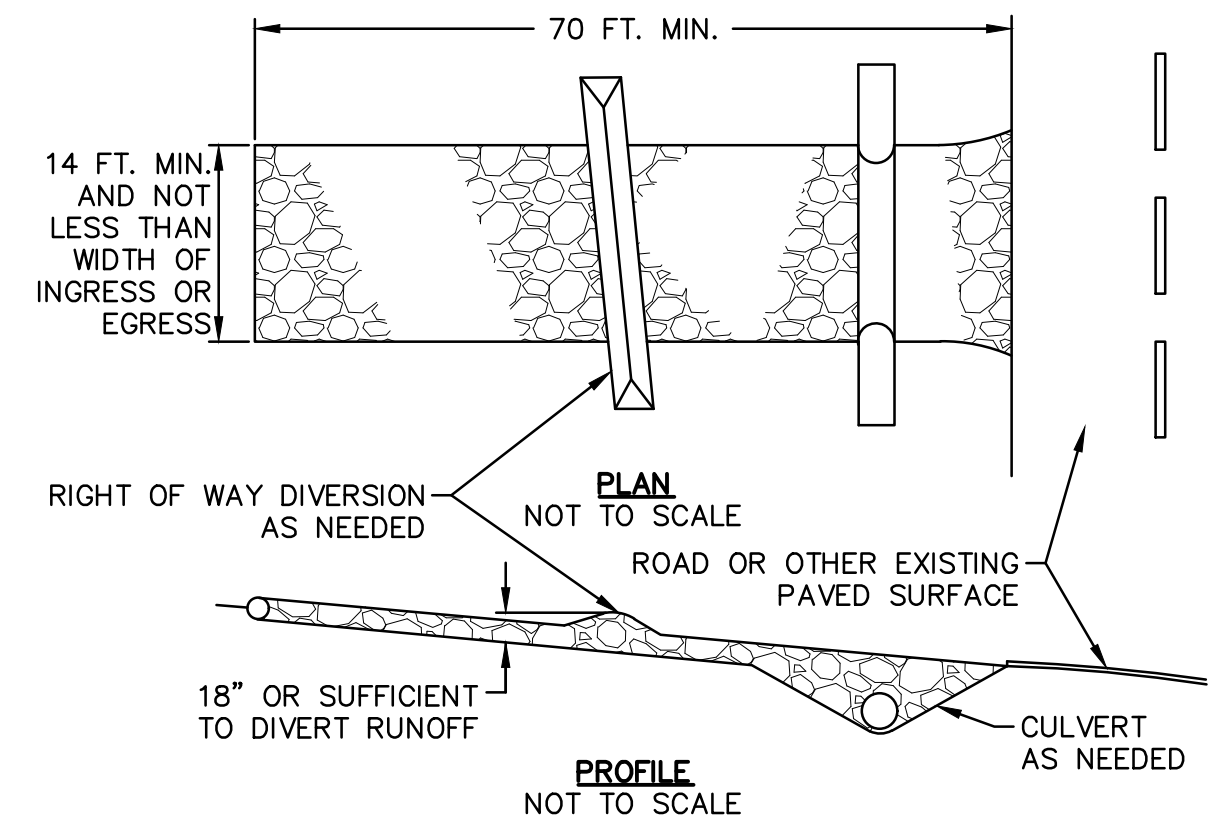
SPILL CONTROL PRACTICES

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

1. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY. MANUFACTURERS’ RECOMMENDED METHODS FOR SPILL CLEANUP POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
2. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
3. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
4. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE. SPILLS OF 25 OR MORE GALLONS OF PETROLEUM WASTE MUST BE REPORTED TO OHIO EPA (1–800–282–9378), THE LOCAL FIRE DEPARTMENT, AND THE LOCAL EMERGENCY PLANNING COMMITTEE WITHIN 30 MINUTES OF THE SPILL.
5. SOILS CONTAMINATED BY PETROLEUM OR OTHER CHEMICAL SPILLS MUST BE TREATED/DISPOSED AT AN OHIO EPA APPROVED SOLID WASTE MANAGEMENT FACILITY OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITY (TSDF).
6. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.
7. THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY–TO–DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. THEY WILL DESIGNATE SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ONSITE.

CONSTRUCTION ENTRANCE

A CONSTRUCTION ENTRANCE IS A STABILIZED PAD OF STONE UNDERLAIN WITH GEOTEXTILE AND IS USED TO REDUCE THE AMOUNT OF MUD TRACKED OFF–SITE WITH CONSTRUCTION TRAFFIC. LOCATED AT POINTS OF INGRESS/EGRESS, THE PRACTICE IS USED TO REDUCE THE AMOUNT OF MUD TRACKED OFF–SITE WITH CONSTRUCTION TRAFFIC.



CONSTRUCTION SPECIFICATIONS

1. **STONE SIZE:** ODOT #2 (1.5–2.5 INCH) STONE SHALL BE USED, OR RECYCLED CONCRETE EQUIVALENT.
2. **LENGTH:** THE CONSTRUCTION ENTRANCE SHALL BE AS LONG AS REQUIRED TO STABILIZE HIGH TRAFFIC AREAS BUT NOT LESS THAN 70 FT.
3. **THICKNESS:** THE STONE LAYER SHALL BE AT LEAST 6 INCHES THICK FOR LIGHT DUTY ENTRANCES OR AT LEAST 10 INCHES FOR HEAVY DUTY USE.
4. **WIDTH:** THE ENTRANCE SHALL BE AT LEAST 14 FEET WIDE, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
5. **GEOTEXTILE:** A GEOTEXTILE SHALL BE LAID OVER THE ENTIRE AREA, PRIOR TO PLACING STONE. IT SHALL BE COMPOSED OF STRONG ROT–PROOF POLYMERIC FIBERS AND MEET THE FOLLOWING SPECIFICATIONS:

GEOTEXTILE SPECIFICATION FOR CONSTRUCTION ENTRANCE	
MINIMUM TENSILE STRENGTH	200 LBS.
MINIMUM PUNCTURE STRENGTH	80 PSI.
MINIMUM TEAR STRENGTH	50 LBS.
MINIMUM BURST STRENGTH	320 PSI.
MINIMUM ELONGATION	20%
EQUIVALENT OPENING SIZE	<0.6 MM.
PERMITIVITY	1X10 ⁻³ CM/SEC.

6. **TIMING:** THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED AS SOON AS IS PRACTICABLE BEFORE MAJOR GRADING ACTIVITIES.
7. **CULVERT:** A PIPE OR CULVERT SHALL BE CONSTRUCTED UNDER THE ENTRANCE IF NEEDED TO PREVENT SURFACE WATER FROM FLOWING ACROSS THE ENTRANCE OR TO PREVENT RUNOFF FROM BEING DIRECTED OUT ONTO PAVED SURFACES.
8. **WATER BAR:** A WATER BAR SHALL BE CONSTRUCTED AS PART OF THE CONSTRUCTION ENTRANCE IF NEEDED TO PREVENT SURFACE RUNOFF FROM FLOWING THE LENGTH OF THE CONSTRUCTION ENTRANCE AND OUT ONTO PAVED SURFACES.
9. **MAINTENANCE:** TOP DRESSING OF ADDITIONAL STONE SHALL BE APPLIED AS CONDITIONS DEMAND. MUD SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADS, OR ANY SURFACE WHERE RUNOFF IS NOT CHECKED BY SEDIMENT CONTROLS, SHALL BE REMOVED IMMEDIATELY. REMOVAL SHALL BE ACCOMPLISHED BY SCRAPING OR SWEEPING.
10. **VEHICLES:** CONSTRUCTION ENTRANCES SHALL NOT BE RELIED UPON TO REMOVE MUD FROM VEHICLES AND PREVENT OFF–SITE TRACKING. VEHICLES THAT ENTER AND LEAVE THE CONSTRUCTION–SITE SHALL BE RESTRICTED FROM MUDDY AREAS.
11. **REMOVAL:** THE ENTRANCE SHALL REMAIN IN PLACE UNTIL THE DISTURBED AREA IS STABILIZED OR REPLACED WITH A PERMANENT ROADWAY OR ENTRANCE.

REVISIONS

08.29.24	PERMIT SET

STATE OF OHIO
CODY W.
BEUCLER
81760
REGISTERED
PROFESSIONAL ENGINEER

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NEW CONSTRUCTION FOR
NORTH CENTRAL INSULATION -
NEWARK

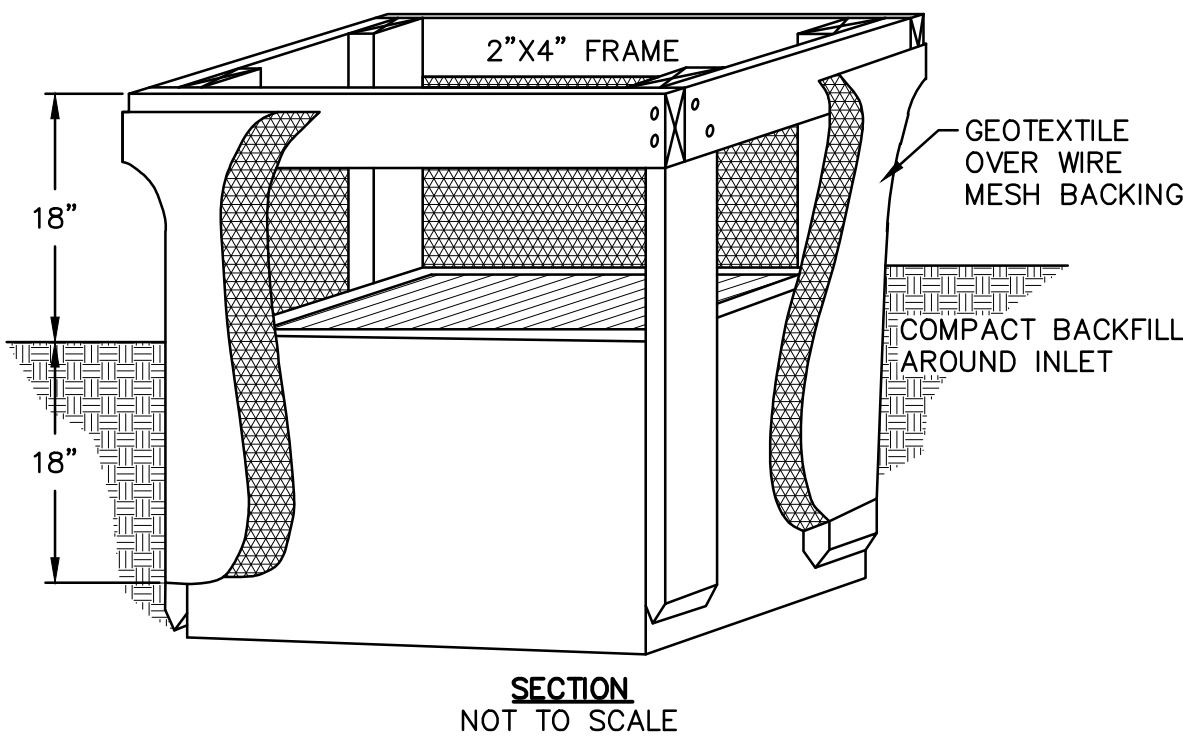
995 BRICE STREET
NEWARK, OHIO 43055
LICKING COUNTY

PROJECT NUMBER
24-124

STORMWATER
POLLUTION
PREVENTION PLAN

DRAWING NUMBER
C602

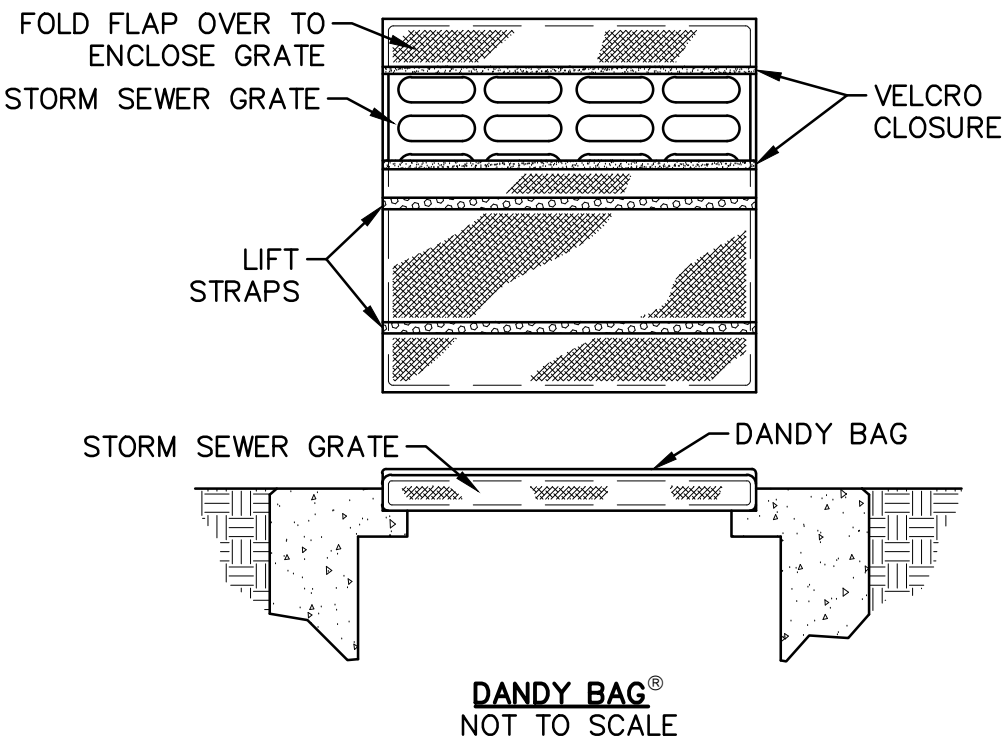
FILTER FABRIC INLET PROTECTION



CONSTRUCTION SPECIFICATIONS

- INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE INLET BECOMES FUNCTIONAL.
- THE EARTH AROUND THE INLET SHALL BE EXCAVATED COMPLETELY TO A DEPTH AT LEAST 18 INCHES.
- THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2 INCHES BY 4 INCHES CONSTRUCTION GRADE LUMBER. THE 2 INCHES BY 4 INCHES POSTS SHALL BE DRIVEN ONE (1) FT. INTO THE GROUND AT FOUR CORNERS OF THE INLET AND THE TOP PORTION OF 2 INCHES BY 4 INCHES FRAME ASSEMBLED USING THE OVERLAP JOINT SHOWN. THE TOP OF THE FRAME SHALL BE AT LEAST 6 INCHES BELOW ADJACENT ROADS OF PONDED WATER WILL POSE A SAFETY HAZARD TO TRAFFIC.
- WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY TO THE FRAME.
- GEOTEXTILE MATERIAL SHALL HAVE AN EQUIVALENT OPENING SIZE OF 20-40 SIEVE AND BE RESISTANT TO SUNLIGHT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY. IT SHALL EXTEND FROM THE TOP OF THE FRAME TO 18 INCHES BELOW THE INLET NOTCH ELEVATION. THE GEOTEXTILE SHALL OVERLAP ACROSS ONE SIDE OF THE INLET SO THE ENDS OF THE CLOTH ARE NOT FASTENED TO THE SAME POST.
- BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6 INCHES LAYERS UNTIL THE EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.
- A COMPACTED EARTH DIKE OR CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INLET IF THE INLET IS NOT IN A DEPRESSION. THE TOP OF THE DIKE SHALL BE AT LEAST 6 INCHES HIGHER THAN THE TOP OF THE FRAME.

INLET PROECTION – DANDY BAG®

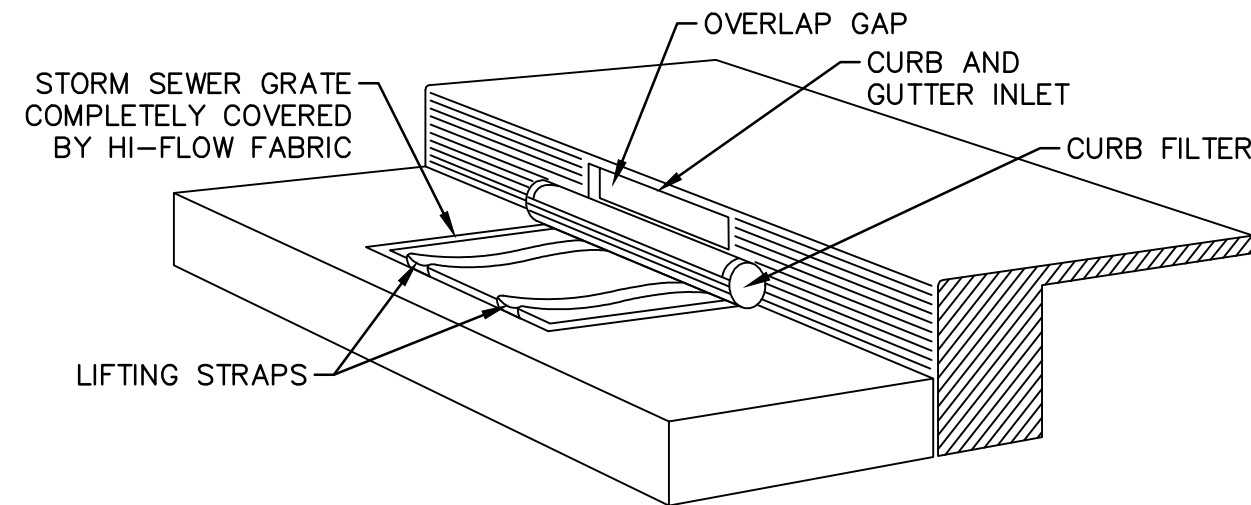


INSTALLATION

- PLACE THE EMPTY DANDY BAG OVER THE GRATE AS THE GRATE STANDS ON END. PULL UP SLACK.
- TUCK THE ENCLOSURE FLAP INSIDE TO COMPLETELY ENCLOSE THE GRATE.
- HOLDING THE LIFT STRAPS, INSERT THE GRATE INTO THE INLET BEING CAREFUL NOT TO DAMAGE THE DANDY BAG UNIT.

MAINTENANCE

- THE CONTRACTOR SHALL REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM SURFACE AND VICINITY OF UNIT AFTER EACH RAIN EVENT OR AS DIRECTED BY ENGINEER/INSPECTOR. DISPOSE OF UNIT NO LONGER IN USE AT AN APPROPRIATE RECYCLING OR SOLID WASTE FACILITY



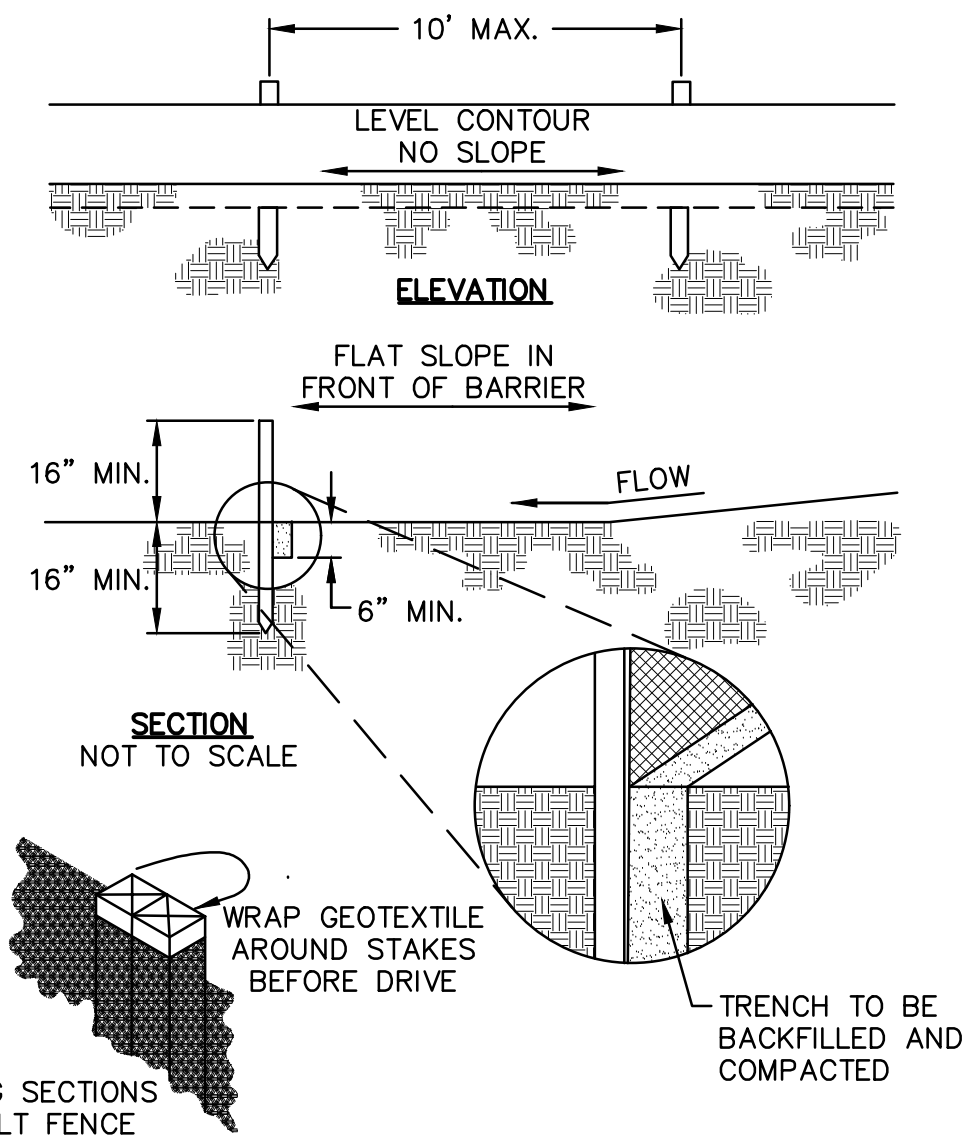
INSTALLATION

- PLACE THE EMPTY DANDY CURB BAG OVER THE GRATE AS THE GRATE STANDS ON END. PULL UP SLACK.
- TUCK THE ENCLOSURE FLAP INSIDE TO COMPLETELY ENCLOSE THE GRATE.
- HOLDING THE LIFT STRAPS, INSERT THE GRATE INTO ITS FRAME, FRONT EDGE FIRST, THEN LOWER BACK EDGE WITH CYLINDRICAL TUBE INTO PLACE.

MAINTENANCE

- THE CONTRACTOR SHALL REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM SURFACE AND VICINITY OF UNIT AFTER EACH RAIN EVENT OR AS DIRECTED BY ENGINEER/INSPECTOR. DISPOSE OF UNIT NO LONGER IN USE AT AN APPROPRIATE RECYCLING OR SOLID WASTE FACILITY

SILT FENCE



CONSTRUCTION SPECIFICATIONS

- SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.
- ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS WHICH MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.
- ENDS OF THE SILT FENCES SHALL BE BROUGHT UPSLOPE SLIGHTLY SO THAT WATER PONDED BY THE SILT FENCE WL BE PREVENTED FROM FLOWING AROUND THE ENDS.
- SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.
- WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 5 FEET (OR AS MUCH AS POSSIBLE) UPSLOPE FROM THE SILT FENCE. IF VEGETATION IS REMOVED, IT SHALL BE REESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.
- THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 16 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- THE SILT FENCE SHALL BE PLACED IN AN EXCAVATED OR SLICED TRENCH CUT A MINIMUM OF 6 INCHES DEEP. THE TRENCH SHALL BE MADE WITH A TRENCHER, CABLE LAYING MACHINE, SLICING MACHINE, OR OTHER SUITABLE DEVICE THAT WILL ENSURE AN ADEQUATELY UNIFORM TRENCH DEPTH.
- THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWNSLOPE SIDE OF THE GEOTEXTILE AND SO THAT 8 INCHES OF GEOTEXTILE MUST BE BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6 INCH DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED ON BOTH SIDES OF THE FABRIC.
- SEAMS BETWEEN SECTION OF SILT FENCE SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST WITH AA MINIMUM 6 INCHES OVERLAP PRIOR TO DRIVING INTO THE GROUND. (SEE DETAILS)
- MAINTENANCE: SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER OR AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW DISCHARGE, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: 1) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED, 2) ACCUMULATED SEDIMENT SHALL BE REMOVED, OR 3) OTHER PRACTICES SHALL BE INSTALLED. SILT FENCE SHALL BE INSPECTED AFTER EACH RAINFALL AND AT LEAST DAILY DURING A PROLONGED RAINFALL. THE LOCATION OF EXISTING SILT FENCE SHALL BE REVIEWED DAILY TO ENSURE ITS PROPER LOCATION AND EFFECTIVENESS. IF DAMAGED, THE SILT FENCE SHALL BE REPAIRED IMMEDIATELY.

CRITERIA FOR SILT FENCE MATERIALS

- FENCE POSTS – THE LENGTH SHALL BE A MINIMUM OF 32 INCHES LONG. WOOD POSTS WILL BE 2-BY-2 INCH NOMINAL DIMENSIONED HARDWOOD OF SOUND QUALITY. THEY SHALL BE FREE OF KNOTS, SPLITS AND OTHER VISIBLE IMPERFECTIONS, THAT WILL WEAKEN THE POSTS. THE MAXIMUM SPACING BETWEEN POSTS SHALL BE 10 FT. POSTS SHALL BE DRIVEN A MINIMUM 16 INCHES INTO THE GROUND, WHERE POSSIBLE. IF NOT POSSIBLE, THE POSTS SHALL BE ADEQUATELY SECURED TO PREVENT OVERTURNING OF THE FENCE DUE TO SEDIMENT/WATER LOADING.

- SILT FENCE FABRIC (SEE CHART BELOW):

FABRIC PROPERTIES	VALUES	TEST METHOD
MINIMUM TENSILE STRENGTH	120 LBS. (535 N)	ASTM D 4632
MAXIMUM ELONGATION AT 60 LBS	50%	ASTM D 4632
MINIMUM PUNCTURE STRENGTH	50 LBS (220 N)	ASTM D 4833
MINIMUM TEAR STRENGTH	40 LBS (180 N)	ASTM D 4533
APPARENT OPENING SIZE	≤0.84 MM	ASTM D4751
MINIMUM PERMITTIVITY	1x10 ⁻² SEC. ⁻¹	ASTM D 4491
UV EXPOSURE STRENGTH RETENTION	70%	ASTM G 4355

NOTE: THE USE OF STRAW WATTLE, OR FILTER SOCK, HAS BEEN PROVEN TO BE AN EFFECTIVE ESC BMP. STRAW WATTLES MAY BE SUBSTITUTED FOR SILT FENCE IN LINEAR INSTALLATIONS.

TEMPORARY SEEDING

CONSTRUCTION SPECIFICATIONS

TEMPORARY SEEDING SPECIES SELECTION			
SEEDING DATES	SPECIES	LB./1000 FT²	LB./ACRE
MARCH 1 TO AUGUST 15	OATS	3	128 (4 BU.)
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
	PERENNIAL RYEGRASS	1	40
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
AUGUST 16 TO NOVEMBER 1	ANNUAL RYEGRASS	1.25	55
	PERENNIAL RYEGRASS	3.25	142
	CREeping RED FESCUE	0.4	17
	KENTUCKY BLUEGRASS	0.4	17
	RYE	3	112 (2 BU.)
	TALL FESCUE	1	40
NOVEMBER 1 TO FEB. 28	WHEAT	3	120 (2 BU.)
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
	PERENNIAL RYE	1	40
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
NOVEMBER 1 TO FEB. 28	ANNUAL RYEGRASS	1.25	55
	PERENNIAL RYEGRASS	3.25	142
	CREeping RED FESCUE	0.4	17
	KENTUCKY BLUEGRASS	0.4	17
	USE MULCH ONLY OR DORMANT SEEDING		
	NOTE: OTHER APPROVED SEED SPECIES MAY BE SUBSTITUTED.		

- STRUCTURAL EROSION AND SEDIMENT-CONTROL PRACTICES SUCH AS DIVERSIONS AND SEDIMENT TRAPS SHALL BE INSTALLED AND STABILIZED WITH TEMPORARY SEEDING PRIOR TO GRADING THE REST OF THE CONSTRUCTION SITE.
- TEMPORARY SEED SHALL BE APPLIED BETWEEN CONSTRUCTION OPERATIONS ON SOIL THAT WILL NOT BE GRADED OR REWORKED FOR 21 DAYS OR GREATER. THESE IDLE AREAS SHALL BE SEEDD WITHIN 7 DAYS AFTER GRADING.
- THE SEEDBED SHOULD BE PULVERIZED AND LOOSE TO ENSURE THE SUCCESS OF ESTABLISHING VEGETATION. TEMPORARY SEEDING SHALL NOT BE POSTPONED IF IDEAL SEEDBED PREPARATION IS NOT POSSIBLE.
- SOIL AMENDMENTS--TEMPORARY VEGETATION SEEDING RATE SHALL ESTABLISH ADEQUATE STANDS OF VEGETATION WHICH MAY REQUIRE THE USE OF SOIL AMENDMENTS. BASE RATE FOR LIME AND FERTILIZER SHALL BE USED.
- SEEDING METHOD--SEED SHALL BE APPLIED UNIFORMLY WITH A CYCLONE SPREADER, DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER. WHEN FEASIBLE, SEED THAT HAS BEEN BROADCAST SHALL BE COVERED BY RAKES OR DISKS OR DRAGGING AND THEN LIGHTLY TAMPED INTO PLACE USING A ROLLER OR CULTIPACKER. IF HYDROSEEDING IS USED, THE SEED AND FERTILIZER WILL BE MIXED ON SITE, AND THE SEEDING SHALL BE DONE IMMEDIATELY AND WITHOUT INTERRUPTION.

MULCHING TEMPORARY SEEDING

- APPLICATIONS OF TEMPORARY SEEDING SHALL INCLUDE MULCH WHICH SHALL BE APPLIED DURING OR IMMEDIATELY AFTER SEEDING. SEEDINGS MADE DURING OPTIMUM SEEDING DATES ON FAVORABLE VERY FLAT SOIL CONDITIONS MAY NOT NEED MULCH TO ACHIEVE ADEQUATE STABILIZATION.
- MATERIALS
 - STRAW: IF STRAW IS USED, IT SHALL BE UNROTTED SMALL-GRAIN STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE OR 90 LB. PER 1,000 SQUARE FEET (TWO TO THREE BALES).
 - HYDROSEEDERS: IF WOOD-CELLULOSE FIBER IS USED, IT SHALL BE USED AT 2,000 LB. PER ACRE OR 46 LB. PER 1,000 SQUARE FEET.
 - OTHER: OTHER ACCEPTABLE MULCHES INCLUDE MULCH MATTINGS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 6 TONS PER ACRE.
- STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER. ANCHORING METHODS
 - MECHANICAL: A DISK, CRIMPER, OR SIMILAR TYPE TOOL SHALL BE SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT, LEFT TO A LENGTH OF APPROXIMATELY 6 INCHES.
 - MULCH NETTINGS: NETTINGS SHALL BE USED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. NETTING MAY BE NECESSARY TO HOLD MULCH IN PLACE IN AREAS OF CONCENTRATION RUNOFF AND ON CRITICAL SLOPES.
 - SYNTHETIC BINDERS: SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRI-TAC), DCA-70, PETROSET, TERRA TACK OR EQUAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER.
 - WOOD-CELLULOSE FIBER: WOOD-CELLULOSE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LBS. PER ACRE. THE WOOD-CELLULOSE FIBER SHALL BE MIXED WITH WATER, AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB. PER 100 GALLONS.

PERMANENT SEEDING

SITE PREPARATION

- SUBSOILER, PLOW, OR OTHER IMPLEMENT SHALL BE USED TO REDUCE SOIL COMPACTION AND ALLOW MAXIMUM INFILTRATION. (MAXIMIZING INFILTRATION WILL HELP CONTROL BOTH RUNOFF RATE AND WATER QUALITY.) SUBSOILING SHOULD BE DONE WHEN THE SOIL MOISTURE IS LOW ENOUGH TO ALLOW THE SOIL TO CRACK OR FRACTURE. SUBSOILING SHALL NOT BE DONE ON SLIP-PRONE AREAS WHERE SOIL PREPARATION SHOULD BE LIMITED TO WHAT IS NECESSARY FOR ESTABLISHING VEGETATION.
- THE SITE SHALL BE GRADED AS NEEDED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION AND SEEDING.
- TOPSOIL SHALL BE APPLIED WHERE NEEDED TO ESTABLISH VEGETATION.

SEEDBED PREPARATION

- LIME: AGRICULTURAL GROUND LIMESTONE SHALL BE APPLIED TO ACID SOIL AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A SOIL TEST, LIME SHALL BE APPLIED AT THE RATE OF 100 POUNDS PER 1,000-SQ. FT. OR 2 TONS PER ACRE.
- FERTILIZER: FERTILIZER SHALL BE APPLIED AS RECOMMENDED BY A SOIL TEST. IN PLACE OF A SOIL TEST, FERTILIZER SHALL BE APPLIED AT A RATE OF 25 POUNDS PER 1,000-SQ. FT. OR 1000 POUNDS PER ACRE OF A 10-10-10 OR 12-12-12 ANALYSES.
- THE LIME AND FERTILIZER SHALL BE WORKED INTO THE SOIL WITH A DISK HARROW, SPRING-TOOTH HARROW, OR OTHER SUITABLE FIELD IMPLEMENT TO A DEPTH OF 3 INCHES. ON SLOPING LAND, THE SOIL SHALL BE WORKED ON THE CONTOUR.

SEEDING DATES AND SOIL CONDITIONS

SEEDING SHOULD BE DONE MARCH 1 TO MAY 31 OR AUGUST 1 TO SEPTEMBER 30. IF SEEDING OCCURS OUTSIDE OF THE ABOVE SPECIFIED DATES, ADDITIONAL MULCH AND IRRIGATION MAY BE REQUIRED TO ENSURE A MINIMUM OF 80% GERMINATION. TILLAGE FOR SEEDBED PREPARATION SHOULD BE DONE WHEN THE SOIL IS DRY ENOUGH TO CRUMBLE AND NOT FORM RIBBONS WHEN COMPRESSED BY HAND. FOR WINTER SEEDING, SEE THE FOLLOWING SECTION ON DORMANT SEEDING.

DORMANT SEEDINGS

- SEEDINGS SHOULD NOT BE MADE FROM OCTOBER 1 THROUGH NOVEMBER 20. DURING THIS PERIOD, THE SEEDS ARE LIKELY TO GERMINATE BUT PROBABLY WILL NOT BE ABLE TO SURVIVE THE WINTER.
- THE FOLLOWING METHODS MAY BE USED FOR "DORMANT SEEDING":
 - FROM OCTOBER 1 THROUGH NOVEMBER 20, PREPARE THE SEEDBED,ADD THE REQUIRED AMOUNTS OF LIME AND FERTILIZER, THEN MULCH AND ANCHOR. AFTER NOVEMBER 20, AND BEFORE MARCH 15, BROADCAST THE SELECTED SEED MIXTURE. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.
 - FROM NOVEMBER 20 THROUGH MARCH 15, WHEN SOIL CONDIT IONS PERMIT, PREPARE THE SEEDBED, LIME AND FERTILIZE. APPLY THE SELECTED SEED MIXTURE, MULCH AND ANCHOR. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.
 - APPLY SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDRO-SEEDER (SLURRY MAY INCLUDE SEED AND FERTIL IZER) ON A FIRM, MOIST SEEDBED.
 - WHERE FEASIBLE, EXCEPT WHEN A CULTIPACKER TYPE SEEDERIS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER, OR LIGHT DRAG. ON SLOPING LAND, SEEDING OPERATIONS SHOULD BE ON THE CONTOUR WHERE FEASIBLE.

MULCHING

- MULCH MATERIAL SHALL BE APPLIED IMMEDIATELY AFTER SEEDING. DORMANT SEEDING SHALL BE MULCHED. 100% OF THE GROUND SURFACE SHALL BE COVERED WITH AN APPROVED MATERIAL.
- MATERIALS
 - STRAW:IF STRAW IS USED IT SHALL BE UNROTTED SMALL-GRAIN STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE OR 90 POUNDS (TWO TO THREE BALES) PER 1,000-SQ. FT. THE MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY APPLIED SO THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000-SQ.-FT. SECTIONS AND SPREAD TWO 45-LB. BALES OF STRAW IN EACH SECTION.
 - HYDROSEEDERS: IF WOOD CELLULOSE FIBER IS USED, IT SHALL BE APPLIED AT 2,000 LB./AC. OR 46 LB./1,000 SQ. FT.
 - OTHER: OTHER ACCEPTABLE MULCHES INCLUDE ROLLED EROSION CONTROL MATTINGS OR BLANKETS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 6 TONS PER ACRE.
- STRAW AND MULCH ANCHORING METHODS
 - STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER.
 - MECHANICAL: A DISK, CRIMPER, OR SIMILAR TYPE TOOL SHALL BESET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICALLY ANCHORED SHALL NOT BE FINELY CHOPPED BUT, GENERALLY, BE LEFT LONGER THAN 6 INCHES.
 - MULCH NETTING: NETTING SHALL BE USED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. NETTING MAY BE NECESSARY TO HOLD MULCH IN PLACE IN AREAS OF CONCENTRATED RUNOFF AND ON CRITICAL SLOPES.
 - ASPHALT EMULSION: ASPHALT SHALL BE APPLIED AS RECOMMENDED BY THE MANUFACTURE OR AT THE RATE OF 160 GALLONS PER ACRE.
 - SYNTHETIC BINDERS: SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRI-TAC), DCA-70, PETROSET, TERRA TACK OR EQUIVALENT MAY BE USED AT RATES SPECIFIED BY THE MANUFACTURER.
 - WOOD CELLULOSE FIBER: WOOD CELLULOSE FIBER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. THE WOOD CELLULOSE FIBER SHALL BE MIXED WITH WATER WITH THE MIXTURE CONTAINING A MAXIMUM OF 50 POUNDS CELLULOSE PER 100 GALLONS OF WATER.

IRRIGATION

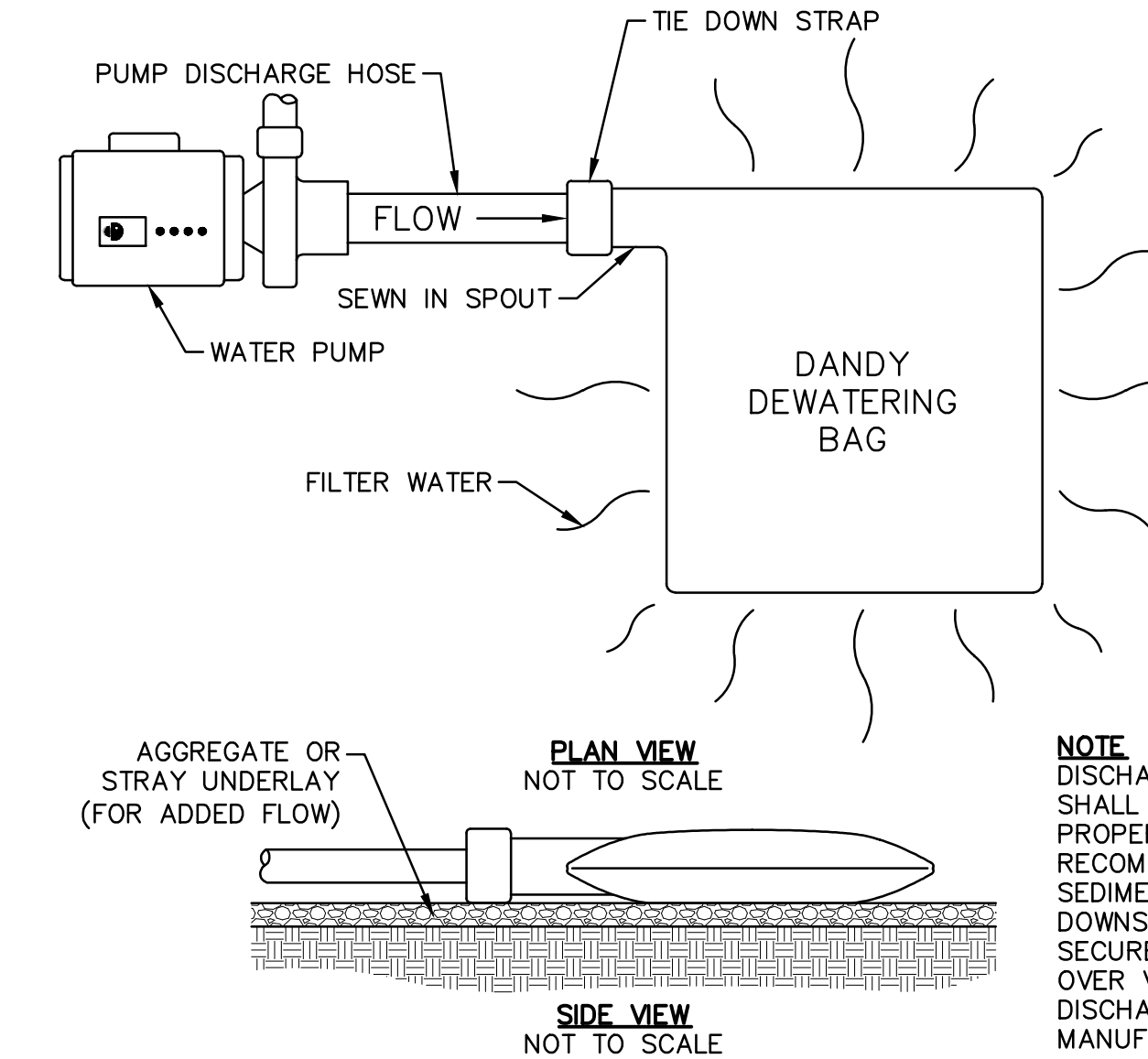
PERMANENT SEEDING SHALL INCLUDE IRRIGATION TO ESTABLISH VEGETATION DURING DRY WEATHER OR ON ADVERSE SITE CONDITIONS, WHICH REQUIRE ADEQUATE MOISTURE FOR SEED GERMINATION AND PLANT GROWTH.

IRRIGATION RATES SHALL BE MONITORED TO PREVENT EROSION AND DAMAGE TO SEEDED AREAS FROM EXCESSIVE RUNOFF.

PERMANENT SEEDING SPECIES SELECTION			
SEED MIX	SEEDING RATE		NOTES
	LB./1000 FT ²	LB./ACRE	
GENERAL USE			
OATS	1/2-1	20-40	FOR CLOSE MOWING & WATERWAYS WITH <2.0 FT/SEC VELOCITY
TALL FESCUE	1/4-1/2	10-20	
ANNUAL RYEGRASS	1/2-1	20-40	
TALL FESCUE	1-1 1/4	40-50	
TURF-TYPE FESCUE	2 1/4	90	
STEEP BANKS OR CUT SLOPES			
TALL FESCUE	1-1 1/4	40-50	
CROWN VETCH	1/4-1/2	10-20	DO NOT SEED LATER THAN AUGUST
TALL FESCUE	1/2-3/4	20-30	
FLAT PEA	1/2-3/4	20-25	DO NOT SEED LATER THAN AUGUST
TALL FESCUE	1/2-3/4	20-30	
ROAD DITCHES AND SWALES			
TALL FESCUE	1-1 1/4	40-50	
TURF-TYPE FESCUE	2 1/4	90	
KENTUCKY BLUEGRASS	0.1	5	
LAWNS			
KENTUCKY BLUEGRASS	2	100-120	
PERENNIAL BLUEGRASS	2		
KENTUCKY BLUEGRASS	2	100-120	FOR SHADED AREAS
CREeping RED FESCUE	1-1 1/2		
NOTE: OTHER APPROVED SEED SPECIES MAY BE SUBSTITUTED.			

NOTE: OTHER APPROVED SEED SPECIES MAY BE SUBSTITUTED.

DANDY DEWATERING BAG®



NOTE

DISCHARGE HOSES USED DURING PUMPING ACTIVITIES SHALL BE FITTED WITH SEDIMENT BAGS THAT ARE PROPERLY SIZED PER MANUFACTURER'S RECOMMENDATIONS REGARDLESS OF WHAT OTHER SEDIMENT CONTROLS ARE IN PLACE FURTHER DOWNSTREAM. SEDIMENT BAGS MUST BE PROPERLY SECURED TO THE DISCHARGE HOSE AND PLACED OVER VEGETATED AREAS, WHERE FEASIBLE, DURING DISCHARGE. INSTALL AND MAINTAIN SYSTEM PER MANUFACTURER'S RECOMMENDATION.

REVISIONS

08.29.24 PERMIT SET

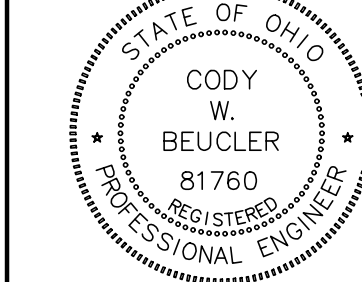
PROJECT NUMBER

24-124

STORMWATER
POLLUTION
PREVENTION PLAN

DRAWING NUMBER

C603



THESE DRAWINGS ARE THE PROPERTY OF MCCARTY ASSOCIATES, LLC AND SHALL NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT OF MCCARTY ASSOCIATES, LLC
© 2024 MCCARTY ASSOCIATES, LLC

MCCARTY
ASSOCIATES, LLC



NEW CONSTRUCTION FOR
NORTH CENTRAL INSULATION -
NEWARK

995 BRICE STREET
NEWARK, OHIO 43055
LICKING COUNTY

ARCHITECTS|ENGINEERS|SURVEYORS
213 N. High St. Hillsboro, Oh 45133
O: 937.393.9971 F: 937.393.2480
MCCARTYASSOCIATES.COM

City of Newark
Division of Engineering

MEMORANDUM

TO : NEWARK PLANNING COMMISSION
FROM: BRIAN R. MOREHEAD, CITY ENGINEER
DATE : 3 October 2024
RE: FINAL PLAT FOR WILLOW BEND PHASE 2 SUBDIVISION

Per your request, I have reviewed the Final Plat for the above subdivision, located in west Newark on River Road. The following comments are based on my review and compliance with the Subdivision Ordinance of The City of Newark.

SECTION 3.09

1. The Final Plat Fee of \$ 310.00 has not been paid and is still due, (31 lots). This will be billed by my office.
2. The street address numbers for Lot 13705 should be changed to 260 Willow Way, and Lot 13717 should be changed to 277 Willow Way.
3. Each new lot corner shall be pinned, and shown on the plat. Only permanent monuments are currently shown. Additionally, the point of intersection of the following curves shall also be pinned and shown:
C2 to C3, C6 to C7, C8 to C9, C12 to C13
Both ends of C14, C15 and L6
4. The legend shows Utility Easements with a typical of 25' rear easement shown; Lots 13701 to 131710 show a typical 10' rear easement noted. The legend needs corrected / clarified to match the drawing.
5. After all corrections, etc., please submit 1 mylar copy of the Final Plat for signatures.

SECTION 4.07

6. Subdivision covenants or deed restrictions have been submitted with Willow Bend Phase 1 Final Plat.
7. The ownership and maintenance of reserve areas and open space are detailed in the covenants or restrictions, and noted on the Final Plat. The proposed open space areas, the storm water detention areas and any

water course easement will be maintained by the Home Owner's Association. The City will not take over ownership of these areas.

GENERAL

8. Since this construction is moving toward completion at this time, I ask the Developer's Engineer to review the as-built construction plans and notes to make sure all easements, etc. will coincide with what was actually built. With our current information, we don't know of any construction changes that would affect this plat. Any changes shall be made before recording the plat.
9. The Developer shall provide the City with a copy of the final infrastructure construction costs, in order for the City to properly account for the new public infrastructure as a result of the development.
10. The City Administration has entered into a Development Agreement with the Developer of this site, similar to the agreements that we have done on prior subdivision developments. There are several issues not covered in the Subdivision Ordinance that are addressed in the agreement.

RECOMMENDATION

No development surety has been recommended for these improvements, since the on-site work is planned for completion in the next 2 months. The on-site work will need to be completed before the plat is released for recording, or a development surety will be required to cover the uncompleted work.

I recommend approval of this Final Plat, contingent upon the resolution of the items / corrections noted above. If approved by Planning Commission, I will prepare legislation for City Council to dedicate the streets, etc. When legislation is passed by City Council, and construction is completed, the Plat can be released for recording.

BRM

cc: Corey Theuerkauf, Rockford Homes, 999 Polaris Parkway, Suite 200, Columbus, OH 43240
Brian Wood, ADR & Associates, Ltd., 88 West Church St., Newark, OH 43055
John Dodgion, Smart Services, 88 West Church St., Newark, OH 43055
Commission Members
Troy Warnock, LC Building Code Administrator
Chad Brown, LC Health Commissioner
George Carter, Zoning Inspector
PC File 24-48, Engineering File 202125, City Engineer

APPLICATION FOR
APPROVAL OF FINAL PLAT
CITY OF NEWARK
LICKING COUNTY, OHIO

Date SEPTEMBER 9, 2024

1. Name of Applicant ROCKFORD HOMES (c/o Corey Theuerkauf)

Address 999 POLARIS PARKWAY, SUITE 200, COLUMBUS, OH 43240

Telephone 614-785-0015

2. Name of Surveyor SMART SERVICES (c/o JOHN DODGION)

Address 88 WEST CHURCH STREET, NEWARK, OH 43055

Telephone 740-345-4700

3. Engineer ADR & ASSOCIATES (c/o BRIAN WOOD)

Address 88 WEST CHURCH STREET, NEWARK, OH 43055

Telephone 740-207-7274

4. Name of Subdivision WILLOW BEND SUBDIVISION, PHASE II

5. Date of Preliminary Plat Approval 02/08/2022

6. Subdivision:

Total Acres	<u>10.381 Ac.</u>
Total Acres in Lots	<u>31Ac.</u>
Total Acres in Roadway	<u>1.576 Ac.</u>
Total Acres other than Lots or Roadways	<u>1.313 Ac.</u>

7. Deed Covenants or Restrictions Submitted Yes X No

8. Seven sets of drawings (prints) Submitted Yes DIGITAL (PDF) No

9. Billing Fee of \$ paid Yes No

10. Signage Fee of \$ paid Yes No

11. Legal Description of boundary of Subdivision Submitted Yes No

Corey

Theuerkauf

Applicant's Signature

Digitally signed by Corey Theuerkauf
DN: cn=Corey Theuerkauf, o=Rockford
Construction, Inc., ou
email=Ctheuerkauf@rockfordhomes.net, c=US
Date: 2024.09.09 14:52:45 -0400

 P.S. 8069
Surveyor or Engineer's
Signature

Date Received: _____

Date of Planning Committee Meeting when plat will be considered:

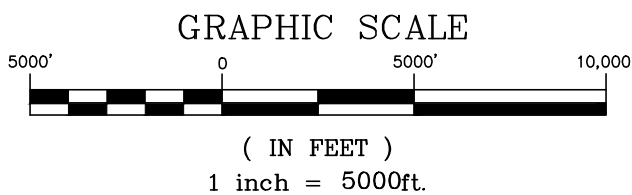
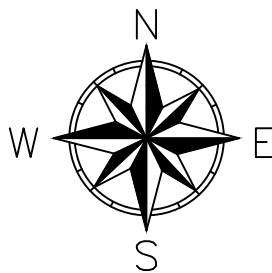
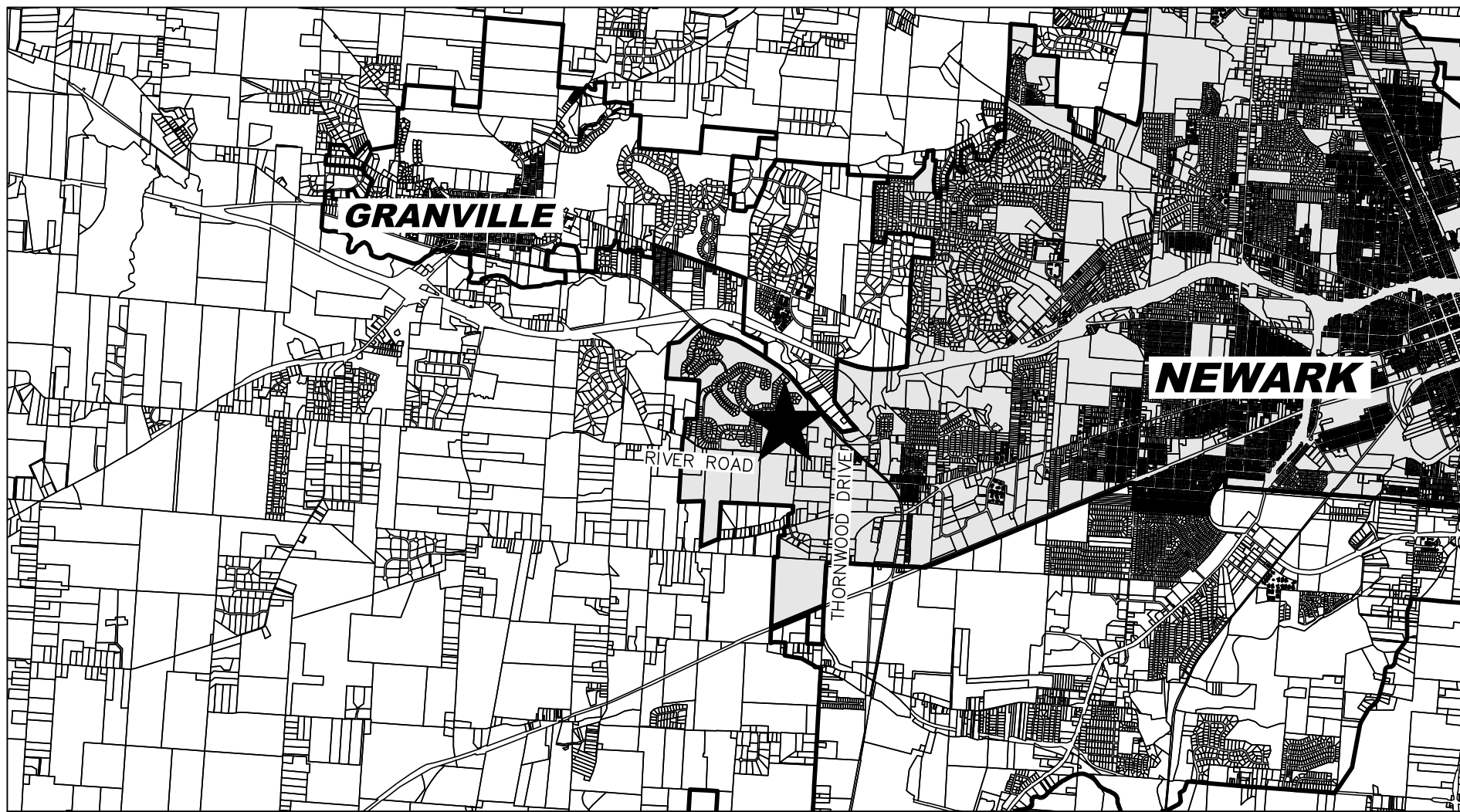
Action by Planning Commission: _____

Date

Signature
Secretary Planning Commission

WILLOW BEND SUBDIVISION, PHASE 2

QUARTER TOWNSHIP 4, TOWNSHIP 2, RANGE 13, UNITED STATES MILITARY LANDS
CITY OF NEWARK, LICKING COUNTY, OHIO



ACREAGE BREAKDOWN

TOTAL SUBDIVISION AREA = 10.381 ACRES
TOTAL IN RIGHT-OF-WAY = 1.576 ACRES
TOTAL IN LOTS = 7.492 ACRES
TOTAL IN OPEN SPACES = 1.313 ACRES

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE BASED ON STATE PLANE COORDINATE SYSTEM NAD83(2011) OHIO SOUTH ZONE, BY STATIC GPS OBSERVATIONS MADE IN OCTOBER 2021, AND ARE INTENDED TO BE USED ONLY FOR DETERMINING ANGLES.

FLOOD ZONE

THE SITE LIES IN FLOOD ZONE "X" NON-SHADED (AREA OF MINIMAL FLOOD HAZARD) AS DETERMINED BY THE CURRENT FLOOD INSURANCE RATE MAP FOR LICKING COUNTY, OHIO AS SHOWN ON FIRM MAP NO. 39089C0336H DATED MAY 2, 2007. NO SURVEYING WAS CONDUCTED TO DETERMINE THE LIMITS OF ZONES.

CERTIFICATE OF ACCURACY

ALL DIMENSIONS SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF.

WE DO HEREBY STATE THAT WE HAVE SURVEYED THE PREMISES, PREPARED THE ATTACHED PLAT AND THAT SAID PLAT IS CORRECT, TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF.

THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE POLICY; ALL OWNERSHIP SHOWN IS BASED UPON RECORD DATA ACQUIRED AT THE TIME OF PREPARATION, NO GUARANTEE IS PLACED UPON ACTUAL OWNERSHIP OF ANY PROPERTY.

EASEMENTS MAY EXIST ON SUBJECT PROPERTY THAT WOULD BE REVEALED IN A TITLE EXAMINATION.

JOHN C. DODGION OHIO REG. SURVEYOR NO. 8069
SMART SERVICES, INC., 88 W. CHURCH ST., NEWARK, OH.

DEVELOPER
ROCKFORD HOMES
999 POLARIS PKWY, SUITE 200
COLUMBUS, OHIO 43240
614-785-0015

DEDICATION

BEING PART OF LOT 2, IN QUARTER TOWNSHIP 4, TOWNSHIP 2, RANGE 13, UNITED STATES MILITARY LANDS, IN THE CITY OF NEWARK, LICKING COUNTY, OHIO, CONTAINING 10.381 ACRES AND BEING THE REMAINING PORTION OF A PARCEL CONVEYED TO ROCKFORD HOMES INC., AS RECORDED IN INSTRUMENT NUMBER 202109280029539, (ALL PLAT, DEED, OFFICIAL RECORD, AND INSTRUMENT REFERENCES ARE FOUND IN THE RECORDER'S OFFICE, LICKING COUNTY, OHIO).

THE UNDERSIGNED COREY THEUERKAUF, MEMBER OF ROCKFORD HOMES INC., HEREBY CERTIFIES THAT THIS PLAT CORRECTLY REPRESENTS "WILLOW BEND SUBDIVISION, PHASE 2", A SUBDIVISION OF LOTS 13701 TO 13731 INCLUSIVE, AND OPEN SPACE "C" DOES HEREBY ACCEPT THIS PLAT OF THE SAME AND DEDICATE TO PUBLIC USE FOREVER AS SUCH, ALL OR PARTS OF THE ROADS AND EASEMENTS AS SHOWN HEREON.

EASEMENTS WITHIN AREAS DESIGNATED ON THIS PLAT AS "UTILITY", ARE HEREBY GRANTED TO THE CITY OF NEWARK, OHIO, AND THE PRIVATE UTILITY COMPANIES, THEIR SUCCESSORS AND ASSIGNS, FOR THE CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR, REPLACEMENT, OR REMOVAL OF WATER, SEWER, GAS, ELECTRIC, COMMUNICATIONS, OR OTHER UTILITY LINES OR SERVICES INCLUDING SERVICE CONNECTIONS TO ALL ADJACENT LOTS AND LANDS, AND FOR THE EXPRESS PRIVILEGE OF REMOVING ANY AND ALL TREES, SHRUBS, BUSHES, BUILDINGS, OR OTHER OBSTRUCTIONS ALONG WITH STORM WATER DRAINAGE TO THE FREE USE OF SAID UTILITIES AND FOR PROVIDING INGRESS AND EGRESS TO THE PROPERTY FOR SAID PURPOSES AND ARE TO BE MAINTAINED AS SUCH FOREVER.

A BLANKET EASEMENT IS HEREBY PROVIDED WITHIN OPEN SPACE C TO ALLOW FOR THE INSTALLATION AND MAINTENANCE OF PUBLIC SANITARY SEWER, STORM SEWER, STORMWATER MANAGEMENT BASINS, AND STREAMS/WATER COURSES.

THE OWNERSHIP AND MAINTENANCE OF RESERVE AREAS AND OPEN SPACES ARE TO BE DETAILED IN THE COVENANTS AND RESTRICTIONS. THE PROPOSED OPEN SPACE AREAS, THE STORM WATER DETENTION AREAS AND ANY WATER COURSE EASEMENT WILL BE MAINTAINED BY THE HOME OWNER'S ASSOCIATION.

THE UNDERSIGNED FURTHER AGREES THAT ANY USE OR IMPROVEMENTS MADE ON THIS LAND SHALL BE IN CONFORMITY WITH ALL EXISTING VALID ZONING, PLATTING, HEALTH, OR OTHER LAWFUL RULES AND REGULATIONS OF THE CITY OF NEWARK, OHIO.

IN WITNESS THEREOF THIS ____ DAY OF _____, 202__

COREY THEUERKAUF, MEMBER OF ROCKFORD HOMES INC.

STATE OF OHIO
COUNTY OF LICKING
BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID STATE PERSONALLY APPEARED COREY THEUERKAUF, MEMBER OF ROCKFORD HOMES INC, WHO ACKNOWLEDGED THE SIGNING OF THE FOREGOING INSTRUMENT TO BE HIS VOLUNTARY ACT AND DEED FOR USE AND PURPOSES THEREIN EXPRESSED.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET HAND AND AFFIXED BY OFFICIAL SEAL THIS ____ DAY OF _____, 202__

APPROVALS

APPROVED THIS ____ DAY OF _____, 202__

CITY OF NEWARK ENGINEER

APPROVED THIS ____ DAY OF _____, 202__

CITY OF NEWARK PLANNING COMMISSION

APPROVED THIS ____ DAY OF _____, 202__

LICKING COUNTY HEALTH DEPARTMENT

APPROVED AND ACCEPTED THIS ____ DAY OF _____, 202__, BY ORDINANCE NO. _____, THE STREETS AND EASEMENTS DEDICATED, HEREON, ARE HEREBY ACCEPTED AS SUCH BY THE COUNCIL OF THE CITY OF NEWARK, OHIO.

IN WITNESS, THEREOF, I HEREUNTO SET MY HAND THIS ____ DAY OF _____, 202__

CLERK OF COUNCIL, CITY OF NEWARK, OHIO

CERTIFICATE OF TRANSFER

TRANSFERRED THIS ____ DAY OF _____, 202__

LICKING COUNTY AUDITOR

CERTIFICATE OF RECORD

LICKING COUNTY RECORDER

PREPARED BY:
SMART
SURVEYING-ENGINEERING-ENVIRONMENTAL
SERVICES
88 W. CHURCH STREET, NEWARK, OHIO 43065
PHONE: (740) 345-4700 FAX: (740) 522-4708

814603 - Willow Bend Subdivision

SHEET

1
4

SEPTEMBER 9, 2024



WILLOW BEND SUBDIVISION, PHASE 2

QUARTER TOWNSHIP 4, TOWNSHIP 2, RANGE 13, U.S.M. LANDS
CITY OF NEWARK, LICKING COUNTY, OHIO

LICKING LAND TRUST
A.P.N. 056-042264-00.000
INST. NO. 200804150008555

NEWARK REDWOOD COMBINED LLC
A.P.N. 056-042264-00.355
INST. NO. 202311080020598

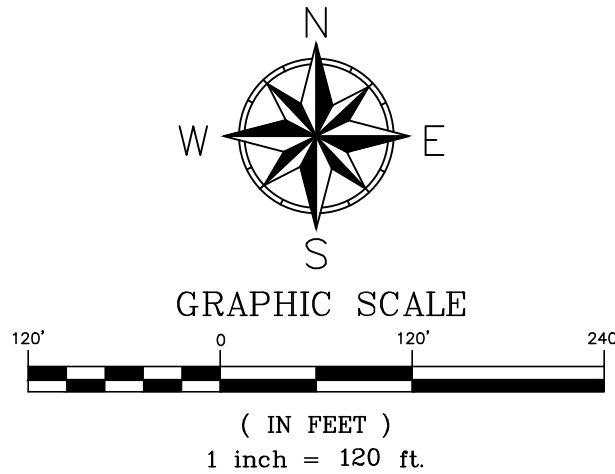
NEWARK REDWOOD COMBINED LLC
A.P.N. 056-041370-01.000
INST. NO. 202311080020599

A MOURAD ABDELMESSIH & HANAA ABDELMESSIH,
TRUSTEES, OR THEIR SUCCESSORS IN TRUST,
UNDER THE MOURAD ABDELMESSIH LIVING TRUST,
DATED MAY 29, 2003 & ANY AMENDMENTS THERETO
& MOURAD ABDELMESSIH & HANAA ABDELMESSIH,
TRUSTEES, OR THEIR SUCCESSORS IN TRUST,
UNDER THE HANAA ABDELMESSIH LIVING TRUST,
DATED MAY 29, 2003 & ANY AMENDMENTS THERETO
A.P.N. 056-041376-00.001
INST. NO. 200307300036508

ROCKFORD HOMES INC.
INST. NO. 202402050001918

GALE L. AMACHER, ETAL
RUTH E. AMACHER, ETAL
A.P.N. 056-043506-00.000
INST. NO. 201607070014012

GALE L. AMACHER, JR.
MISTY L. AMACHER
A.P.N. 056-041376-00.000
INST. NO. 202401050000335



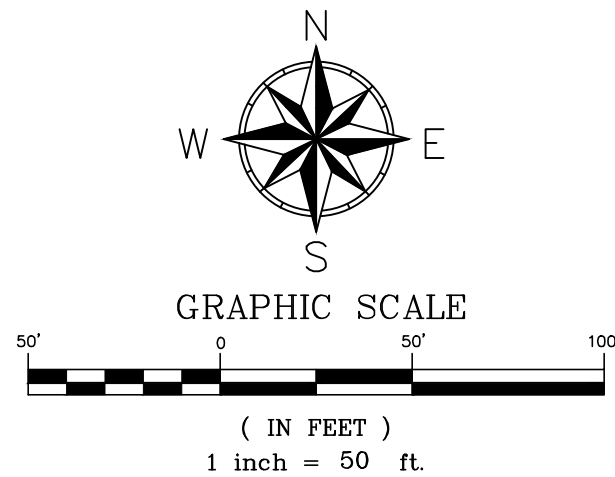
LEGEND

- PERMANENT MONUMENT - 1" x 30" REBAR SET (PUNCHED)
- 5/8" x 30" REBAR W/CAP "SMART SERVICES" SET
- 1/2" REBAR FOUND
- 5/8" REBAR FOUND
- 3/4" PIPE W/CAP "EMHT" FOUND
- MAG NAIL SET

ZONING NOTE: "This plat was developed in accordance with the current RL Single Family Residential Low Density Zoning guidelines."

*NOTE: EXISTING CHANNEL EASEMENTS AND EXISTING CONSERVATION EASEMENT SHOWN HEREON, WERE DEDICATED IN WILLOW BEND SUBDIVISION, PHASE 1 AS RECORDED IN INST. NO. 202401170000917. THE EASEMENT WITHIN THE AREA DESIGNATED ON THIS PLAT AS "EXISTING CONSERVATION EASEMENT" IS FOR THE ON-SITE COMPENSATORY MITIGATION OF RE-ESTABLISHED STREAM AND ASSOCIATED RIPARIAN BUFFER. THIS PRESERVATION AREA SHALL NOT BE DISTURBED, EXCEPT BY THOSE ACTIVITIES THAT WILL NOT ADVERSELY AFFECT THE INTENDED EXTENT, CONDITION, AND FUNCTION OF THE COMPENSATORY MITIGATION PROJECT. TO THE EXTENT APPROPRIATE AND PRACTICABLE, PROHIBIT INCOMPATIBLE USES (E.G. CLEAR CUTTING) THAT MIGHT OTHERWISE JEOPARDIZE THE OBJECTIVES OF THE COMPENSATORY MITIGATION PROJECT. LIVESTOCK GRAZING, MOWING, AND SIMILAR ACTIVITIES ARE NOT ALLOWED EXCEPT AS NECESSARY TO SUPPORT MITIGATION ACTIVITIES.

SEE SHEET 3 FOR LINE/CURVE DATA



LEGEND

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- ⊙ 1/2" REBAR FOUND
- ⊙ 5/8" REBAR FOUND
- ⊙ 3/4" PIPE W/CAP "EMHT" FOUND
- ▲ MAG NAIL SET
- (XXXX) STREET ADDRESS NUMBER

BUILDING SETBACKS:
30' FRONT
40' REAR
10' SIDE

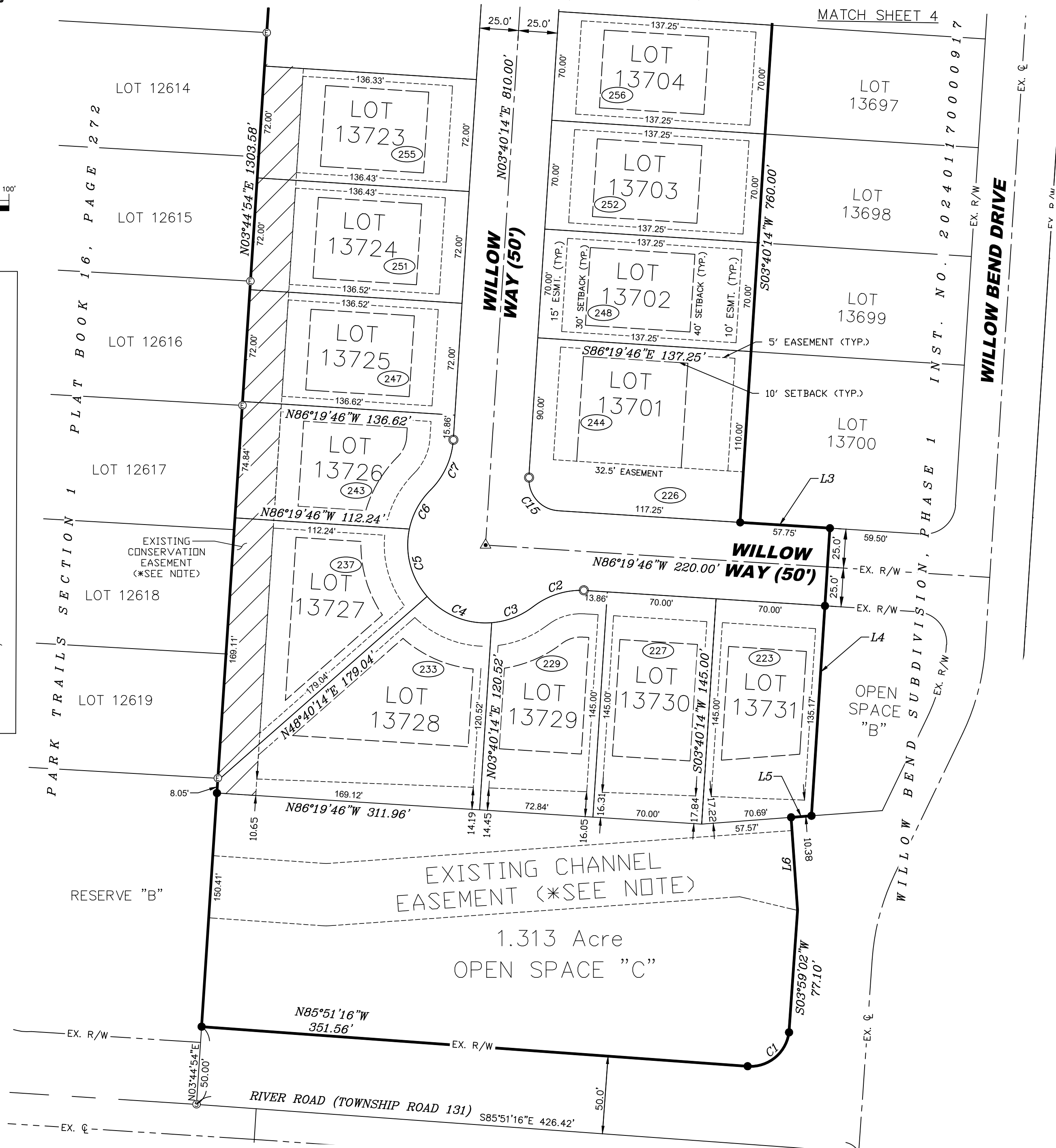
UTILITY EASEMENTS:
15' FRONT
25' REAR
5' SIDE

*TYPICAL UNLESS SHOWN OTHERWISE

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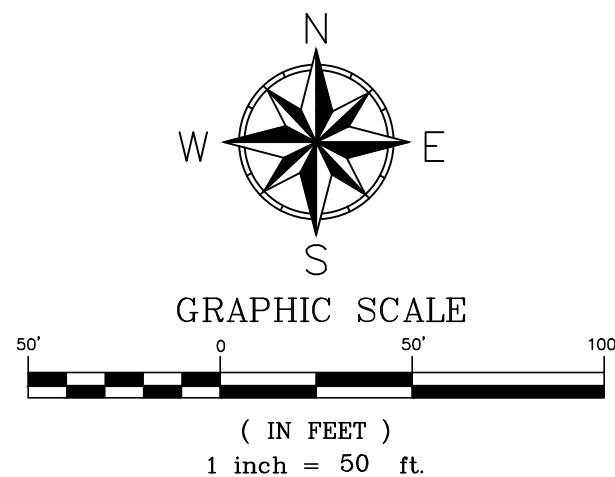
WILLOW BEND SUBDIVISION, PHASE 2

QUARTER TOWNSHIP 4, TOWNSHIP 2, RANGE 13, U.S.M. LANDS
CITY OF NEWARK, LICKING COUNTY, OHIO



Line Table		
Line #	Direction	Length
L1	S03°40'14"W	196.32'
L2	N86°19'46"W	57.75'
L3	S86°19'46"E	57.75'
L4	S03°40'14"W	185.17'
L5	S85°46'02"W	13.12'
L6	S04°00'06"E	59.93'

Curve Table					
Curve #	Length	Radius	Delta	CH. BRG.	CH. DIST.
C1	39.34'	25.00'	90°10'20"	S49°03'53"W	35.41'
C2	36.14'	50.00'	41°24'35"	S72°57'56"W	35.36'
C3	28.95'	50.00'	33°10'42"	S68°51'00"W	28.55'
C4	46.45'	50.00'	53°13'53"	N67°56'43"W	44.80'
C5	46.45'	50.00'	53°13'53"	N14°42'50"W	44.80'
C6	28.95'	50.00'	33°10'42"	N28°29'28"E	28.55'
C7	36.14'	50.00'	41°24'35"	N24°22'31"E	35.36'
C8	36.14'	50.00'	41°24'35"	N17°02'04"W	35.36'
C9	28.95'	50.00'	33°10'42"	N21°09'00"W	28.55'
C10	46.45'	50.00'	53°13'53"	N22°03'17"E	44.80'
C11	46.45'	50.00'	53°13'53"	S75°17'10"W	44.80'
C12	28.95'	50.00'	33°10'42"	S61°30'32"E	28.55'
C13	36.14'	50.00'	41°24'35"	S65°37'29"E	35.36'
C14	31.42'	20.00'	90°00'00"	S48°40'14"W	28.28'
C15	31.42'	20.00'	90°00'00"	S41°19'46"E	28.28'



LEGEND

- PERMANENT MONUMENT - 1" x 30" REBAR SET (PUNCHED)
- 5/8" x 30" REBAR W/CAP "SMART SERVICES" SET
- ⊙ 1/2" REBAR FOUND
- ⊙ 5/8" REBAR FOUND
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- ▲ MAG NAIL SET
- (XXXX) STREET ADDRESS NUMBER

BUILDING SETBACKS:

- 30' FRONT
- 40' REAR
- 10' SIDE

UTILITY EASEMENTS:

- 15' FRONT
- 25' REAR
- 5' SIDE

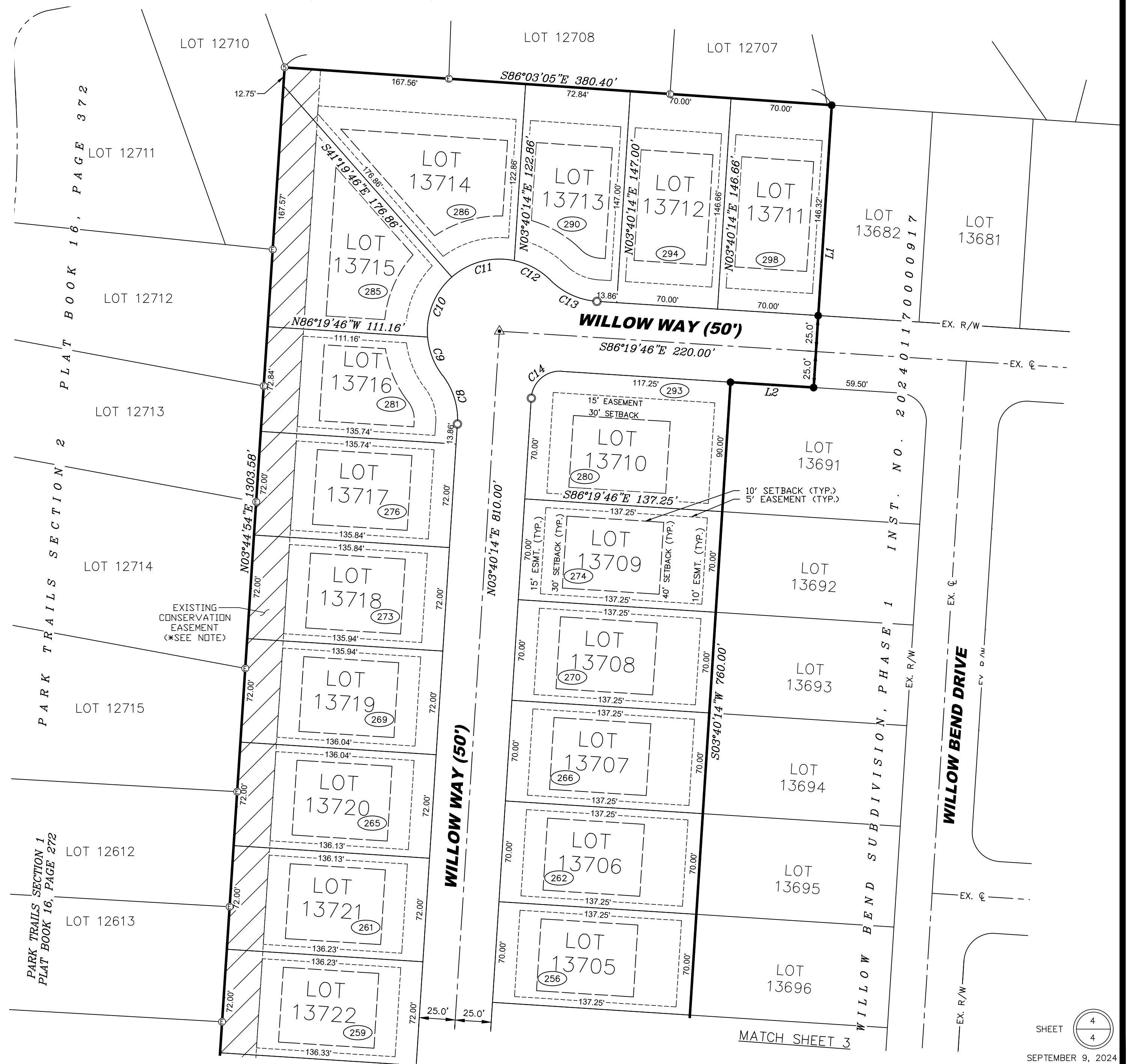
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WILLOW BEND SUBDIVISION, PHASE 2

QUARTER TOWNSHIP 4, TOWNSHIP 2, RANGE 13, U.S.M. LANDS
CITY OF NEWARK, LICKING COUNTY, OHIO



SHEET

4
4

SEPTEMBER 9, 2024