

**PLANNING COMMISSION MEETING  
TUESDAY, JANUARY 11, 2022 6:00 P.M.  
Council Chambers  
40 W MAIN ST, NEWARK, OH 43055**

## **AGENDA**

- 1. CALL TO ORDER**
- 2. APPROVAL OF MINUTES FOR THE DECEMBER 14, 2021 PLANNING COMMISSION MEETING**

### **OLD BUSINESS**

**3. REVIEW OF PRELIMINARY PLAT FOR WILLOW BEND**

Application Number: PC-21-52

Applicant: Rockford Homes, 999 Polaris Pkwy, Suite 200, Columbus, Oh 43240 – Justin Lowe

Engineer: ADR & Associates, Ltd., 88 West Church Street, Newark, Oh 43055 – Ryan Badger

### **NEW BUSINESS**

**4. SITE PLAN REVIEW FOR BUILDING ADDITION AT UHAUL, 144 DERBT DOWNS RD**

Application Number: PC 21-53

Applicant: David Ruff, 300 Merchant St, Newark, Oh 43055

Owner: AREC RW MS LLC, 2727 N. Central Ave., Phoenix, Az. 85004

**5. SITE PLAN REVIEW THE LP APARTMENTS, LOG POND DR. – 72 apartments in 3 buildings, with clubhouse, pool and garages**

Application Number: PC-21-61

Applicant ADR & Associates – Ryan Badger, 88 West Church Street, Newark, Oh 43055

Owner: Shanghi Enterprises, LLC, 13375 National Rd., Reynoldsburg, Oh 43068

### **MISCELLANEOUS – ADMINISTRATIVE APPROVALS**

**THE NEXT SCHEDULED PLANNING COMMISSION MEETING WILL BE HELD ON TUESDAY, FEBRUARY 8, 2022, 6:00 P.M. THE DEADLINE FOR AGENDA ITEM SUBMITTAL IS TUESDAY, JANUARY 18, 2022 4:30 P.M.**

**City of Newark**  
**Division of Engineering**

**MEMORANDUM**

**TO : NEWARK PLANNING COMMISSION**  
**FROM: BRIAN R. MOREHEAD, CITY ENGINEER**  
**DATE : 6 JANUARY 2022**  
**RE : PRELIMINARY PLAT FOR WILLOW BEND SUBDIVISION**

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Per your request, I have reviewed the Preliminary Plat for the above-mentioned subdivision. The following comments are based on my review and compliance with the Subdivision Ordinance of The City of Newark.

The City has existing zoning for this site as the Single Family Residential – Low Density district - RL for this development; there are references and dimensions shown on the plat that refer to RM zoning district, which is incorrect.

The City Administration wishes to enter into a Development Agreement with the Developer of this site, similar to the agreements that we have done on prior subdivision developments. There are several issues not covered in the Subdivision Ordinance that could be addressed in such an agreement.

This review is being made to allow the developer to submit the construction plans for this site, and some construction concepts will be necessary to finalize the negotiations regarding this development.

**SECTION 3.06**

- 1.C.3.b.** Regarding the existing private utility easements showing on the ALTA survey, the City will need to be briefed on the terms of what improvements are allowed in these areas, and any other encumbrances on this property. We will not sign construction plans without adequate assurance that the improvements can be built across these easements.
- 2.C.3.e.** On Page 3, Schematic Plan, there are several corrections needed:
- a. the Zoning information shown is incorrect; this parcel is zoned in the RL district.
  - b. the waterways should be shown on the drawing, and a no-development buffer needs to surround these areas.
  - c. the street name at the Willow Bend Drive needs corrected to show Willow Way to the west. Shows up correctly in the Plan and Profile sheets.

- 3.C.4.a.** On Page 2, Typical Sections, the street names are incorrect, from another subdivision in Newark. Also, the pavement width at the intersection of River Road and Willow Bend Drive will need to be widened, and the design and right-of-way should anticipate a future mini-roundabout or turn lanes at this intersection, as has previously been discussed.
- 4.C.4.b.** On Page 4, Plan & Profile, an additional 20' of right-of-way is shown along the north side of River Road, which matches the previously platted right-of-way in adjacent Park Trails Subdivision, to be used for roadway and utility improvements.
- 5.C.4.d.** On Page 2, Typical Sections, the Typical Lot Plan is incorrect, the setbacks reflect those of the RM zoning district, not the RL district as currently zoned. All of the subsequent sheets should be checked for RL compliance, as there are no dimensions given on the later sheets.
- 6.C.4.d.** Official addresses from City Engineering will need to be added to any future plan or plat submittals.
- 7.C.4.e.** The proposed open space areas, the storm water detention areas and any water course easement will need to be designed with the thought in mind that it will need to be maintained by a private source, such as a Home Owner's Association. The City will not take over ownership of these areas. This will need to be noted on the future plan or plat submittals.
- 8.C.4.e.** The ownership and maintenance of reserve areas and open space should be detailed in the Development Agreement and noted on the Final Plat, as with the items previously noted.
- 9.C.4.e.** On Page 4, details and easements will be needed around the culvert structure, as it would become public infrastructure for ownership and maintenance.
- 10.C.4.h.** There is an issue that the City is working to resolve regarding providing improved water pressure and fire protection for this development with the current water supply system. Roger Loomis, Utilities Supt., is working to make the improvements / changes that are needed to our system to accommodate this project and to buffer the existing developments. We have previously discussed this with the developer.
- 11.C.4.h.** There is no gravity sanitary sewer immediately available to this site, however a future extension of gravity sewer is in the planning stages. Until that is available, sanitary sewer will need to be directed to the pumping station in Park Trails Subdivision, with a future connection to the gravity sewer provided when the pump station is abandoned.

**SECTION 4.02**

**12.G.** There are several locations where the change in grade of the street is less than the 300' spacing requirement; given the topography and to eliminate massive earth moving to meet the requirement, we find this acceptable.

**SECTION 4.03**

**13.A.** Sidewalks are shown on this plat, and will be on both sides of the street. A future sidewalk or pedestrian path along River Road should be addressed in the Development Agreement, due to the current planning for improvements to the roadway.

**SECTION 4.07**

**14.** No covenants or deed restrictions have been filed with this plat.

**SECTION 4.09**

**15.** The storm drainage system is to be designed to meet the requirements of the City's Stormwater Design Manual, and this submittal will be fully reviewed as part of the construction plan development.

**GENERAL**

**16.** The Developer should be aware of the agreements between the City and M/I Homes regarding the establishment of a special assessment district to help pay the oversize cost of the existing sanitary sewer in Park Trails Subdivision.

In addition, the City has had discussions with the Granville Exempted Village School District to discuss the existing Newark/Granville Community Authority, which would provide benefits to the school district as land in this area is developed. The Developer shall make contact with these entities to discuss the details of these items, and inform Planning Commission of the results.

**RECOMMENDATION**

Based on my review, I recommend a resolution of the technical corrections needed on this Preliminary Plat, with the plat then resubmitted for final approval by Planning Commission at a future meeting.

Some of these items may be addressed on the construction plans, but the zoning items listed above are troubling. The City and Developer also need to meet soon to begin crafting a Development Agreement. Our policy is that construction plans will not be signed until these issues have an adequate resolution.

BRM

cc: Rockford Homes – Justin Lowe, 999 Polaris Parkway, Suite 200,  
Columbus, OH 43240  
Ryan Badger, ADR & Associates, Ltd., 88 West Church St., Newark, OH  
43055  
Commission Members  
Troy Warnock, LC Building Code Administrator  
Chad Brown, LC Health Commissioner  
George Carter, Zoning Inspector  
File  
City Engineer



**ADR & Associates, Ltd.**  
88 West Church St.  
Newark, Ohio 43055  
740-345-1921  
Fax 740-345-4994

Clientcentric Consulting  
Design . Engineering . Innovation

November 15, 2021

Brian Morehead, PE  
George Carter, Deputy Code Admin. & Zoning Insp.  
City of Newark  
40 West Main Street  
Newark, OH 43055

Re: Willow Bend., Residential Subdivision, Preliminary Plat Plan

Gentlemen,

Enclosed you will find the following information for your zoning approval:

- One (1) digital .pdf of the Preliminary Plat and Stormwater Management Report
- One (1) Preliminary Plat Application and supporting property owner information

If you have any questions, comments, or concerns, please feel free to contact myself.

ADR & Associates, LTD.

R. Ryan Badger  
Director of Development

c: 21-098

APPLICATION  
APPROVAL OF PRELIMINARY PLAT  
CITY OF NEWARK  
LICKING COUNTY, OHIO

Date: \_\_\_\_\_

1. Name of Applicant \_\_\_\_\_

Address \_\_\_\_\_

Telephone \_\_\_\_\_

2. Name of Surveyor \_\_\_\_\_

Address \_\_\_\_\_

Telephone \_\_\_\_\_

3. Engineer \_\_\_\_\_

Address \_\_\_\_\_

Telephone \_\_\_\_\_

4. Name of Subdivision \_\_\_\_\_

5. Present Zoning District \_\_\_\_\_

6. School District \_\_\_\_\_

Name of Schools serving the Subdivision area

High School \_\_\_\_\_

Junior High or Middle School \_\_\_\_\_

Elementary School \_\_\_\_\_

7. Proposed Subdivision will be serviced by:

Newark Water	Yes _____	No _____
Newark Sanitary Sewer	Yes <sup>X</sup> _____	No _____
Ohio Power Co.	Yes <sup>X</sup> _____	No _____
Licking Rural Electrification	Yes _____	No _____
Alltel Telephone	Yes _____	No _____
Cable Television - Company Name:	_____	

8. Proposed Subdivision:

Total Acres \_\_\_\_\_

Total Acres in Lots 16.798 \_\_\_\_\_

Total Acres in Roadway \_\_\_\_\_

Total Acres other than Lots or Roadways \_\_\_\_\_

9. Proposed Escrow Agent (Per Section 6.03) \_\_\_\_\_

10. Proposed Deed Covenants or Restrictions Submitted Yes \_\_\_\_\_ No \_\_\_\_\_

11. Six Sets of Drawings (prints) Submitted Yes \_\_\_\_\_ No \_\_\_\_\_

12. Fee of \$ \_\_\_\_\_ paid Yes \_\_\_\_\_ No \_\_\_\_\_

13. Legal Description of Boundary of Proposed Subdivision Submitted Yes \_\_\_\_\_ No \_\_\_\_\_

  
\_\_\_\_\_  
Applicant's Signature

  
\_\_\_\_\_  
Surveyor or Engineer's Signature

Date Received: \_\_\_\_\_

Date of Meeting to be considered at: \_\_\_\_\_

Action by Planning Commission: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature

DESCRIPTION APPROVED  
JARED N. KNERR  
LICKING COUNTY ENGINEER  
APPROVED BY  
09/27/2021 JR

TRANSFERRED  
Date September 28, 2021  
Murdhant  
Licking County Auditor  
SEC. 319.202 COMPLIED WITH  
MICHAEL L. SMITH, AUDITOR  
BY: 19 3065.40



202109280029539

Pgs:3 \$42.00 T20210028989  
9/28/2021 3:10 PM BXSTIMSON HO  
Bryan A. Long Licking County Recorder

### GENERAL WARRANTY DEED

Roger R. Harris and Bridget B. Harris, husband and wife ("Grantors"), for valuable consideration, grant with general warranty covenants to Rockford Homes, Inc, an Ohio Corporation ("Grantee"), whose tax mailing address is 999 Polaris Parkway, Suite 200, Columbus, Ohio 43240, the following described property (the "Property"):

Situated in the State of Ohio, County of Licking and in the City of Newark:

#### See attached Exhibit A

Parcel Number: 056-041370-02.000  
Property Address: 2811 River Road, Granville, Ohio 43023  
Prior Reference: Instrument No.: 201706060011757

The Property is conveyed subject to: (i) conditions, restrictions, reservations, covenants, rights of way, leases, and easements of record, (ii) zoning and building laws, ordinance and regulations; (iii) legal streets and highways; and (iv) real estate taxes and assessments that are a lien upon the parcel as of the closing but are not then due and payable.

IN WITNESS WHEREOF, Grantors have caused this general warranty deed to be executed as of the 14<sup>th</sup> day of September, 2021.

\_\_\_\_\_  
Roger R. Harris

\_\_\_\_\_  
Bridget B. Harris

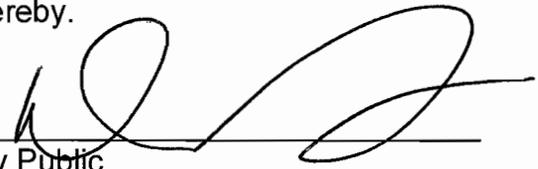
ACKNOWLEDGMENTS ON NEXT PAGE



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STATE OF OHIO )  
COUNTY OF Licking ) SS:

The foregoing instrument was acknowledged before me this 15 day of September 2021 by Roger R. Harris and Bridget B. Harris, Grantors. The Notarial act certified hereby is an acknowledgment. No oath or affirmation was administered to the signer with regard to the notarial act certified to hereby.

  
\_\_\_\_\_  
Notary Public

This Deed was prepared by:  
Mike Whitehead, Esq.  
Reese Pyle Meyer PLL  
36 N. Second Street  
Newark, Ohio 43055



DEREK SANNER  
Notary Public  
State of Ohio  
My Comm. Expires  
February 9, 2025

**EXHIBIT A**

**Situated in the City of Newark, County of Licking and State of Ohio:**

**Being part of Lot 2 in the 4th Quarter of Township 2 and Range 13 of the U.S.M. Lands and further bounded and described as follows:**

**Beginning at a point at the intersection of the centerline of Township Road 131 and the westerly line of said Lot 2;**

**Thence North 6 degrees 30 minutes 12 seconds East, passing along an existing fence line and passing along said westerly line of Lot 2 and the easterly line of the Gebard W. Keny property (deed reference, Volume 656 at page 638 of the Deed Records of Licking County, Ohio), passing an iron pin at 30.00 feet, a total distance of 1354.10 feet to an iron pin;**

**Thence South 83 degrees 15 minutes East, 973.54 feet to an iron pin;**

**Thence South 5 degrees 52 minutes West, passing existing iron pins at 664.54 feet and 1324.25 feet, a total distance of 1354.25 feet to a point in the said centerline of Township Road 131;**

**Thence North 83 degrees 15 minutes West, passing along the said centerline of Township Road 988.59 feet to the place of beginning: Containing 30.50 acres, more or less.**

**The above description prepared by Alvin R. Jobs, Registered Surveyor #5006, dated December 8, 1975.**

**SURVEY OF AIRSIDE FIELDS**

CONDUCTED BY  
THE AIRSIDE SURVEY TEAM  
ON 15/05/2012  
SCALE: 1:1000

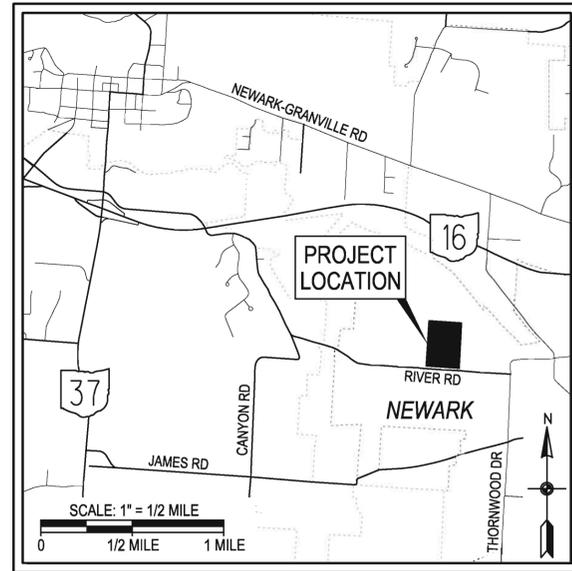


1:1000

**THE SURVEY TEAM**  
SURVEYED BY THE SURVEY TEAM

# 2021 WILLOW BEND SUBDIVISION PRELIMINARY PLAT

SITUATED IN THE CITY OF NEWARK,  
LICKING COUNTY, OHIO



### PROJECT DESCRIPTION

THIS SUBDIVISION LOCATED ALONG RIVER ROAD IN THE CITY OF NEWARK INCLUDES 67 LOTS TO BE SERVED BY PUBLIC WATER AND SEWER. ROADWAY IMPROVEMENTS SHALL CONSIST OF COMBINED CURB & GUTTER FOR APPROXIMATELY 3,585'.

OWNER/DEVELOPER  
ROCKFORD HOMES  
ATTN: JUSTIN LOWE  
999 POLARIS PARKWAY, SUITE 200  
COLUMBUS, OH 43240  
614-785-0015  
jlowe@rockfordhomes.net

### INDEX OF SHEETS

TITLE SHEET .....	1
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SCHEMATIC PLAN .....	3
PLAN & PROFILES (WILLOW BEND DRIVE) .....	4-6
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PLAN & PROFILES (HANNAH'S LOOP) .....	10-12
GRADING PLAN .....	13-14
ATTACHMENT 1: .....	ALTA SURVEY (BY OTHERS)

**UNDERGROUND  
UTILITIES**



Newark Office:  
88 West Church Street  
Newark, OH 43055  
(740) 345-1921 (ph)  
(740) 345-4994 (fax)  
www.adrinnovation.com

SIGNATURES BELOW SIGNIFY ONLY CONCURRENCE WITH THE GENERAL PURPOSES AND GENERAL LOCATION OF THE PROJECT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE ENGINEER PREPARING THE PLAN.

PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

CITY SERVICE DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CITY STORMWATER UTILITY \_\_\_\_\_ DATE \_\_\_\_\_

CITY UTILITIES SUPERINTENDENT \_\_\_\_\_ DATE \_\_\_\_\_

DRAWN BY  
CHECKED RRB  
REVIEWED  
BCK



REVISIONS

TITLE SHEET

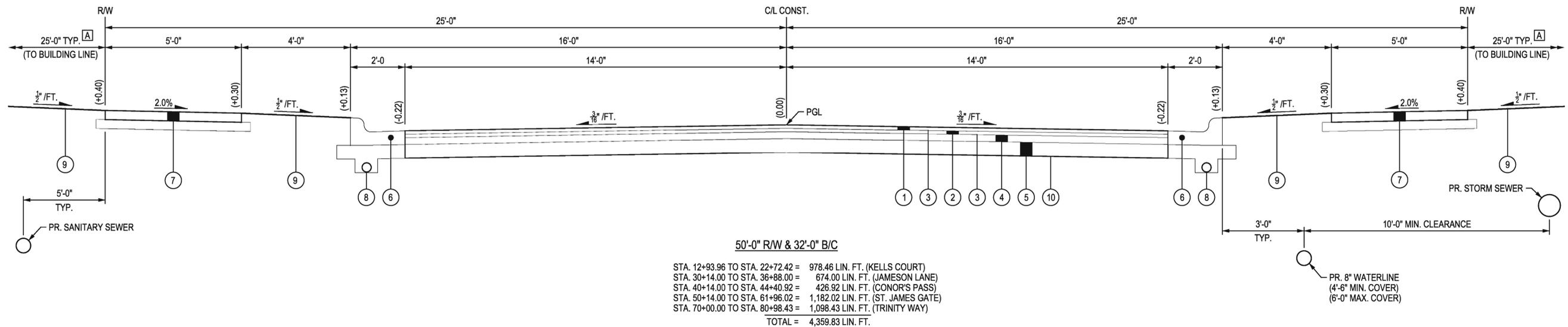
WILLOW BEND SUBDIVISION  
PRELIMINARY PLAT  
CITY OF NEWARK, OHIO

OCT. 22, 2021  
JOB #21-098

1  
14

# TYPICAL SECTIONS

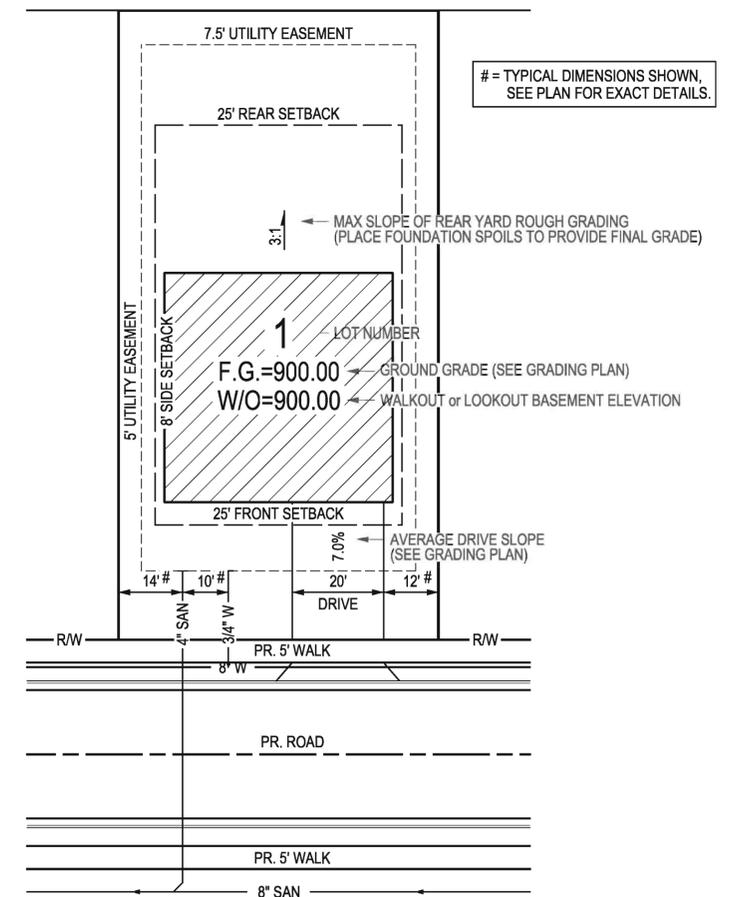
PROPOSED DRIVEWAY APRONS SHALL MEET THE REQUIREMENTS OF CITY OF NEWARK STANDARD DRAWINGS 400-3 (SECTION) & 400-4 (PLAN).



50'-0" R/W & 32'-0" B/C

STA. 12+93.96 TO STA. 22+72.42 =	978.46 LIN. FT. (KELLS COURT)
STA. 30+14.00 TO STA. 36+88.00 =	674.00 LIN. FT. (JAMESON LANE)
STA. 40+14.00 TO STA. 44+40.92 =	426.92 LIN. FT. (CONOR'S PASS)
STA. 50+14.00 TO STA. 61+96.02 =	1,182.02 LIN. FT. (ST. JAMES GATE)
STA. 70+00.00 TO STA. 80+98.43 =	1,098.43 LIN. FT. (TRINITY WAY)
<b>TOTAL =</b>	<b>4,359.83 LIN. FT.</b>

# TYPICAL LOT PLAN



### PAVEMENT DETAIL LEGEND

- ① ITEM 441 1 1/2" ASPHALT CONCRETE, SURF. COURSE, TYPE 1, (448) PG64-22
- ② ITEM 441 1 1/2" ASPHALT CONCRETE, INT. COURSE, TYPE 2, (448)
- ③ ITEM 407 TACK COAT (@ 0.055 GAL/SY)
- ④ ITEM 301 3" ASPHALT CONCRETE BASE
- ⑤ ITEM 304 6" AGGREGATE BASE
- ⑥ ITEM 609 CURB & GUTTER (PER STD. DWG 600-0)
- ⑦ ITEM 608 4" CONCRETE WALK (w/ 4" ITEM 304, AGGREGATE BASE)
- ⑧ ITEM 605 4" SHALLOW PIPE UNDERDRAIN
- ⑨ ITEM 659 SEEDING AND MULCHING
- ⑩ ITEM 204 SUBGRADE COMPACTION

### PAY ITEM NOTES

ITEM 608 - CURB RAMP, TYPE A2, AS PER PLAN: IN ADDITION TO THE REQUIREMENTS SPECIFIED IN ITEM 608, ALL CURB RAMPS SHALL BE CONSTRUCTED WITH 6 INCH CONCRETE DEPTH.

ALL CURB RAMPS AND SIDEWALKS SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH THE REQUIREMENTS OF THE AMERICAN WITH DISABILITIES ACT (ADA).

CURB RAMPS SHALL BE CONSTRUCTED WITH A CROSS SLOPE NOT TO EXCEED 2% AND A RUNNING SLOPE NOT TO EXCEED 8%.

CURB RAMPS AND SIDEWALKS WILL BE CHECKED FOR COMPLIANCE BY THE CITY ENGINEER BOTH BEFORE CONCRETE IS PLACED AND AFTER FORMS ARE REMOVED.

THE CITY REQUIRES THE INSTALLATION OF REMOVEABLE, CAST-IN-PLACE, VITRIFIED POLYMER COMPOSITE DETECTABLE WARNING TILES, COLOR 'BRICK RED' AND INSTALLED ACCORDING TO THE DRAWINGS AND SPECIFICATIONS OF THE MANUFACTURER.

ALL COSTS ABOVE SHALL BE INCLUDED WITH PAY ITEM 608 - CURB RAMP, TYPE A2, AS PER PLAN.

### PLAN NOTES

- [A] 30'-0" SETBACK FOR LOTS ON CUL-DE-SACS

DRAWN	CHECKED	REVIEWED
B/W	R/B	B/C



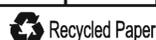
REVISIONS

TYPICAL SECTIONS

WILLOW BEND SUBDIVISION  
ROADWAY & WATERLINE PLANS  
CITY OF NEWARK, OHIO

OCT. 22, 2021  
JOB #21-098

PRINTED 10/22/2021 8:17:59 AM P:\AD\2021\21-098 Willow Brook Bend Subdivision - Newark\dwg\Preliminary\Plat02\_Typical Sections.dgn



# SCHEMATIC PLAN

## SURVEY INFORMATION

SURVEY INFORMATION BASED ON FIELD OBSERVATION BY AMERICAN STRUCTUREPOINT, INC.

FOR MORE INFORMATION CONTACT:  
 BRIAN P. BINGHAM  
 AMERICAN STRUCTUREPOINT  
 2550 CORPORATE EXCHANGE DR., STE. 300  
 COLUMBUS, OH 43231  
 (614) 901-2236

## CONTROL POINTS

POINT	NORTHING	EASTING	ELEV.
PT #21418	1972489.307	745242.523	921.63
PT #21428	1972972.501	745248.284	920.21
PT #21443	1971752.905	745340.879	928.27
BM #100	1972963.845	745244.586	921.73
BM #101	1972457.638	745279.101	923.38
BM #102	1972103.326	745304.025	924.84
BM #103	1971788.218	745394.043	928.25

DATE(S) OF FIELD SURVEY: 3/2/2021  
 COORDINATE SYSTEM: OHIO STATE PLANE (SOUTH ZONE)  
 HORIZONTAL REFERENCE DATUM: NAD83(2011)  
 ELLIPSOID: -  
 GRID TO GROUND MULTIPLIER (1/CSF): -  
 ORIGIN OF COMBINED SCALE FACTOR: -  
 VERTICAL REFERENCE DATUM: -  
 GEOID MODEL: -  
 UNITS: -  
 ORIGINAL SURVEY SUBDIVISION: UNITED STATES MILITARY LANDS  
 TOWNSHIP: 4th QTR., TWP. 2, RANGE 13

## UTILITIES

OUPS NOTIFICATION RESPONSES: - (MARKINGS)  
 - (PLANS)

UTILITIES IDENTIFIED:  
 AEP OHIO  
 COLUMBIA GAS OF OHIO - NEWARK  
 ENTERPRISE PRODUCTS OPERATING  
 ASPIRE ENERGY (FORMERLY GATHER  
 CITY OF NEWARK  
 CHARTER COMM (SPECTRUM/TIME WARNER)  
 WINDSTREAM OHIO

## FLOOD INFORMATION:

THE PROPERTY FALLS WITHIN THE LIMITS OF FLOOD ZONE X AS SHOWN ON FIRM MAP No. 39089C0336H DATED MAY 2, 2007.

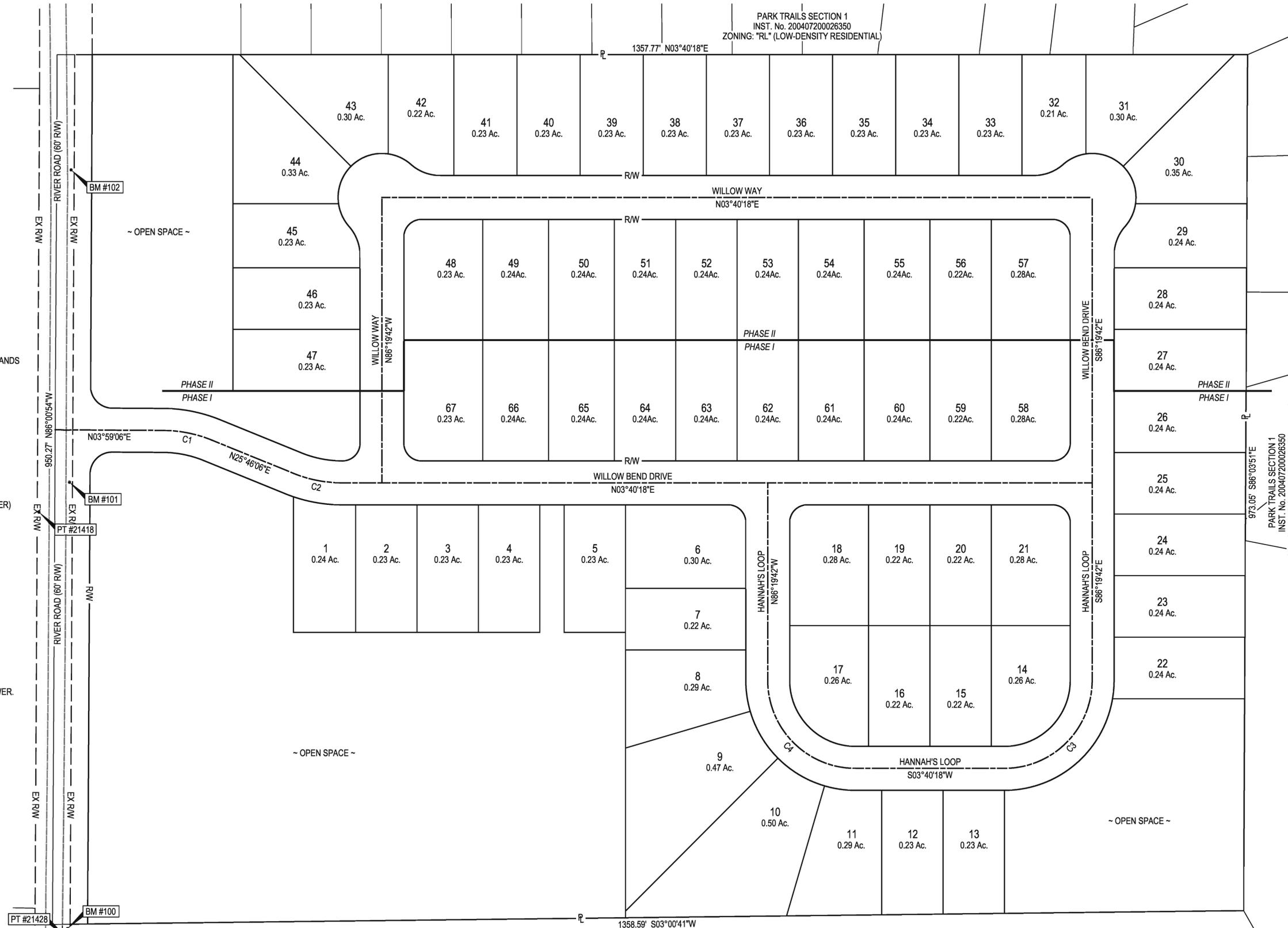
## ZONING INFORMATION:

MEDIUM DENSITY RESIDENTIAL DISTRICT (RM)  
 BUILDING SETBACKS:  
 25' FRONT\*  
 7' SIDE (1 & 1.5 STORIES)  
 9' SIDE (2 STORIES)  
 35' REAR  
 UTILITY EASEMENTS:  
 15' FRONT\*\*  
 5' SIDE  
 7.5' REAR  
 \* 30' FRONT SETBACK ON CUL-DE-SAC LOTS  
 \*\* 10' MIN. EACH SIDE OF WATERLINE, SANITARY, & STORM SEWER.

## SITE INFORMATION

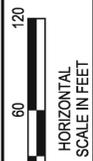
TOTAL AREA:	30.125 Ac.	(100.0%)
LOT AREA:	16.798 Ac.	(55.8%)
OPEN SPACE:	8.731 Ac.	(29.0%)
RIGHT-OF-WAY:	4.596 Ac.	(15.2%)

CENTERLINE CURVE TABLE								
No.	DELTA	RADIUS	TANGENT	LENGTH	Ch. BEARING	Ch. DISTANCE	PC STATION	PT STATION
C1	21°47'01"	150.00'	28.86'	57.03'	N14°52'36"E	56.69'	11+22.95	11+79.98
C2	22°05'49"	150.00'	29.29'	57.85'	N14°43'12"E	57.49'	12+79.98	13+37.83
C3	90°00'00"	100.00'	100.00'	157.08'	S41°19'42"E	141.42'	66+83.50	68+40.58
C4	90°00'00"	100.00'	100.00'	157.08'	S48°40'18"W	141.42'	70+10.58	71+67.66



PARK TRAILS SECTION 1  
 INST. No. 200407200026350  
 ZONING: "RL" (LOW-DENSITY RESIDENTIAL)

NEWARK ONE LLC  
 INST. No. 201307030017002  
 ZONING: "MFR" (MULTI-FAMILY RESIDENTIAL)



DRAWN: BJB  
 CHECKED: RRB  
 REVIEWED: BCK



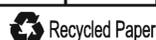
REVISIONS

## SCHEMATIC PLAN

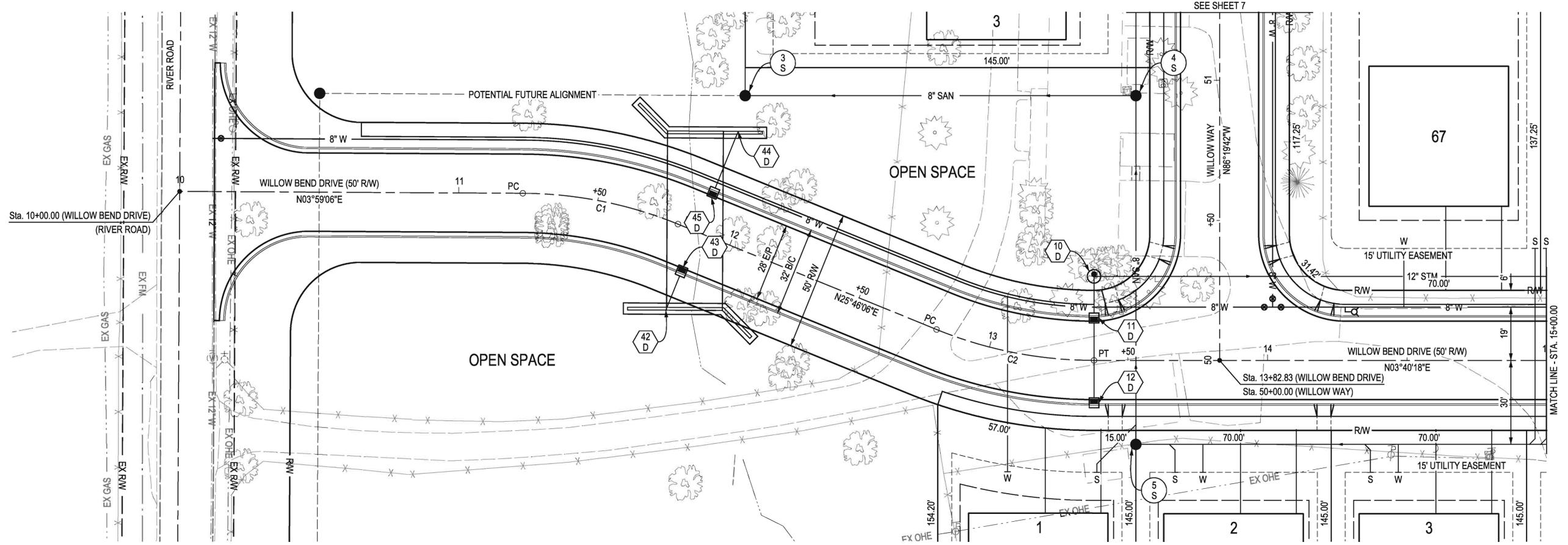
## WILLOW BEND SUBDIVISION PRELIMINARY PLAN CITY OF NEWARK, OHIO

OCT. 22, 2021  
 JOB #21-098

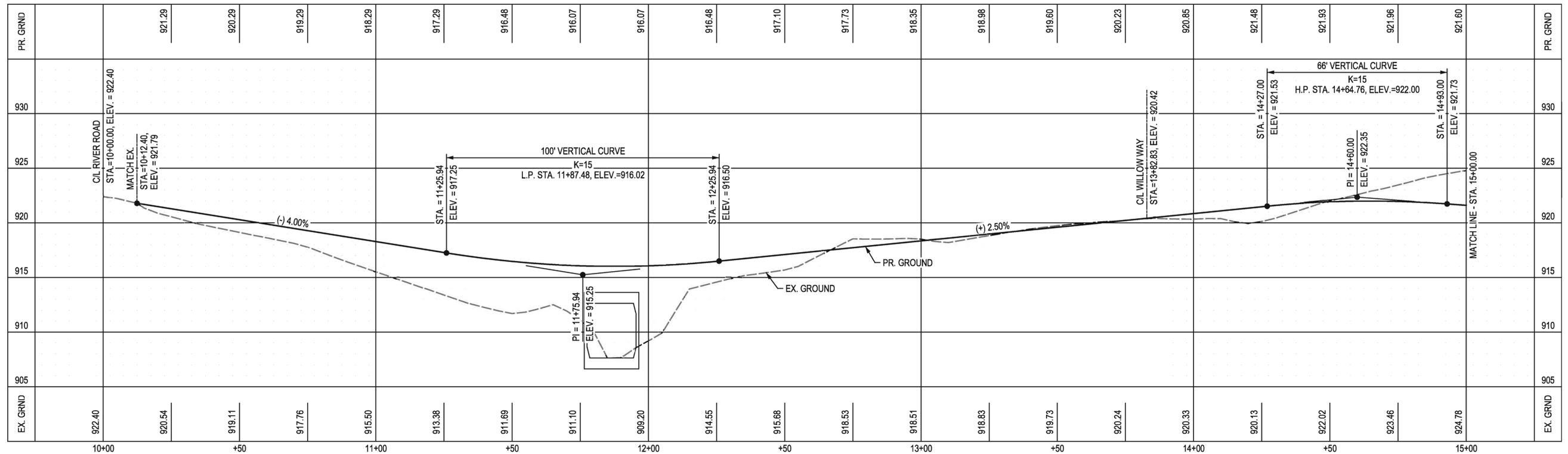
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# PLAN & PROFILE - WILLOW BEND DRIVE



CENTERLINE CURVE TABLE								
No.	DELTA	RADIUS	TANGENT	LENGTH	Ch. BEARING	Ch. DISTANCE	PC STATION	PT STATION
C1	21°47'01"	150.00'	28.86'	57.03'	N14°52'36"E	56.69'	11+22.95	11+79.98
C2	22°05'49"	150.00'	29.29'	57.85'	N14°43'12"E	57.49'	12+79.98	13+37.83



REVISIONS	

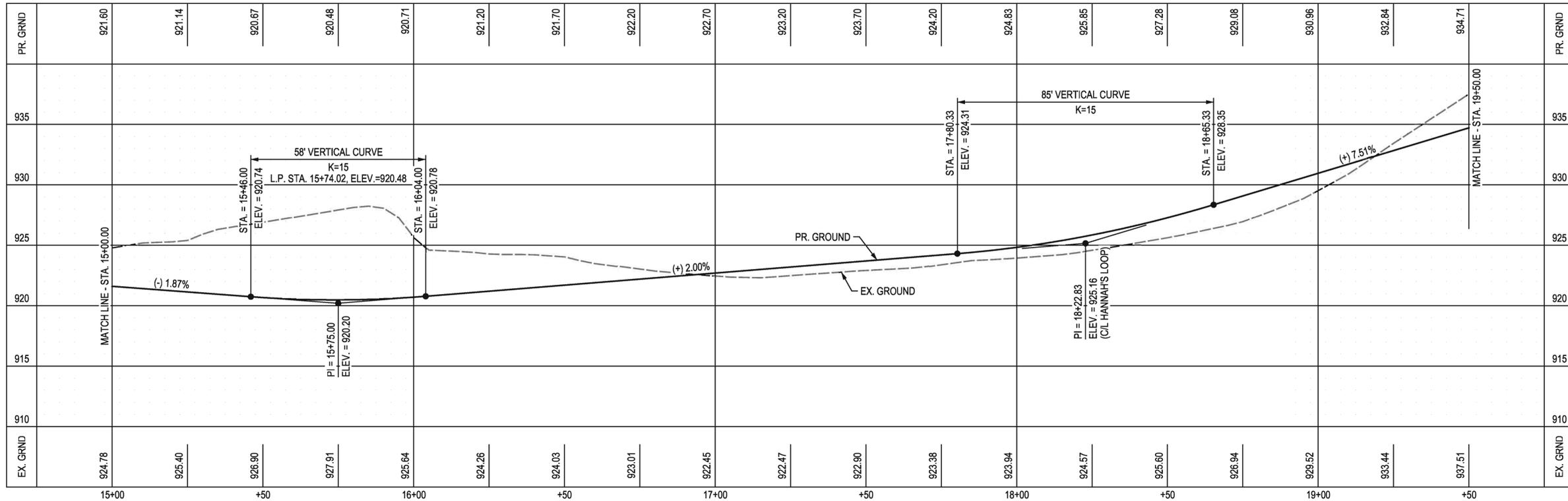
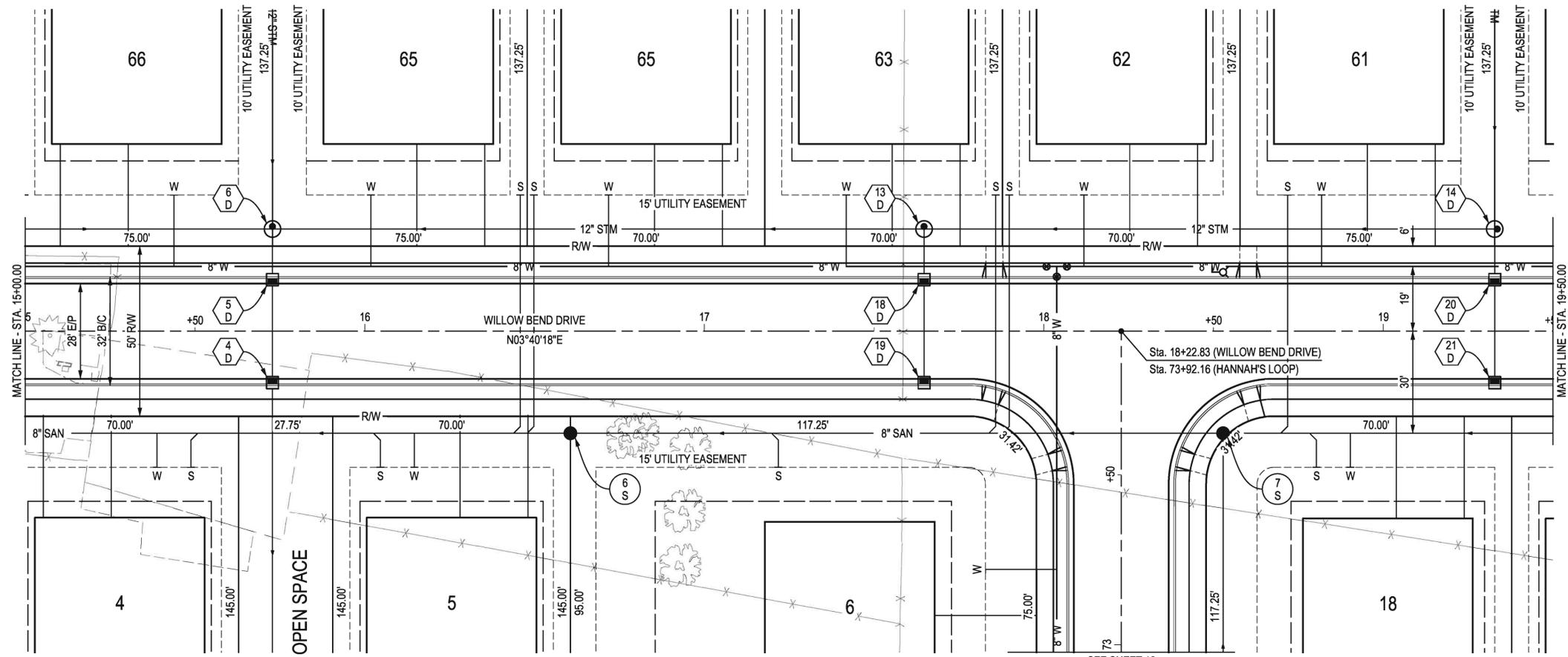
PLAN & PROFILE  
WILLOW BEND DRIVE

WILLOW BEND SUBDIVISION  
PRELIMINARY PLAN  
CITY OF NEWARK, OHIO

OCT. 22, 2021  
JOB #21-098

4  
14

# PLAN & PROFILE - WILLOW BEND DRIVE



DRAWN: B/W  
CHECKED: RRB  
REVIEWED: BCK



NO.	DATE	REVISIONS
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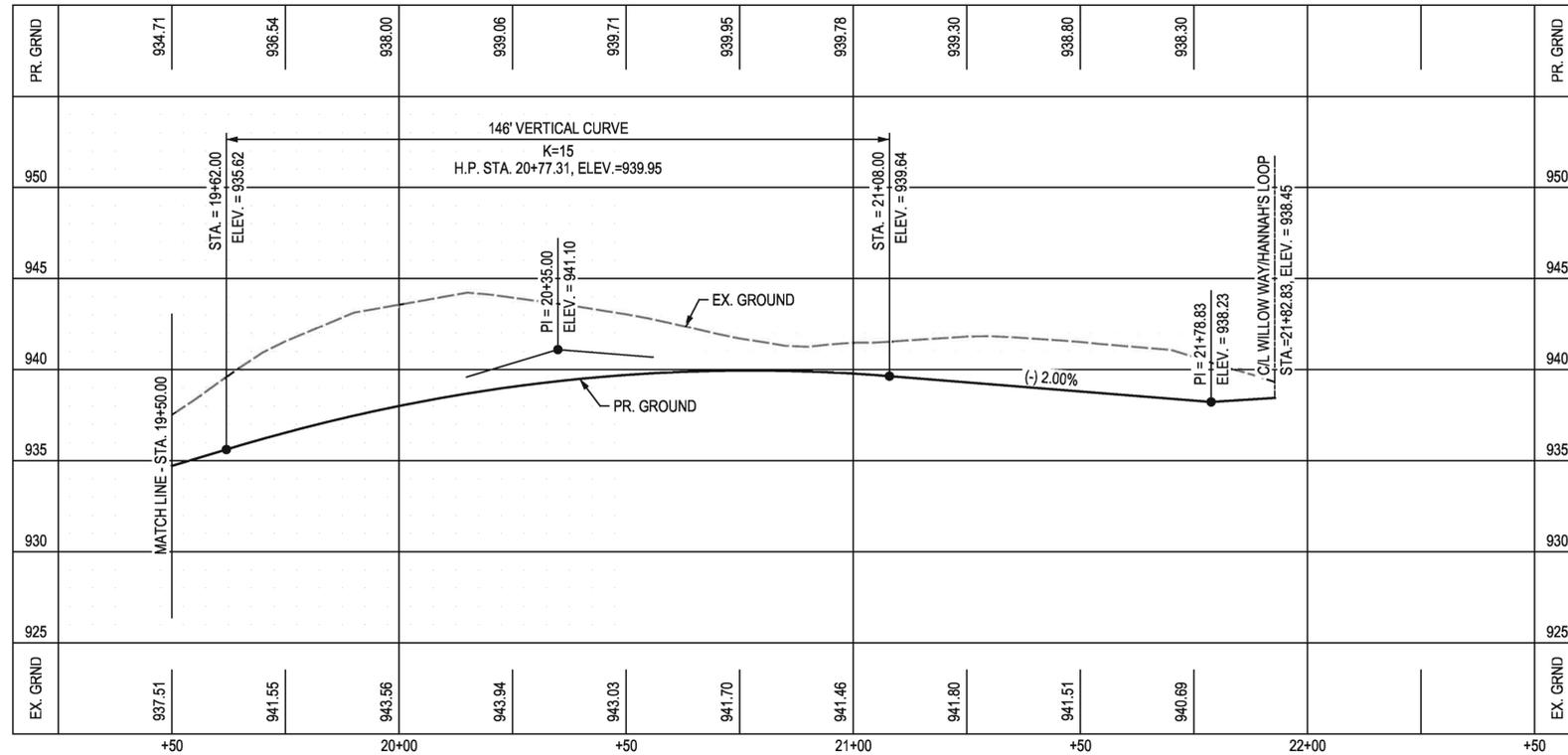
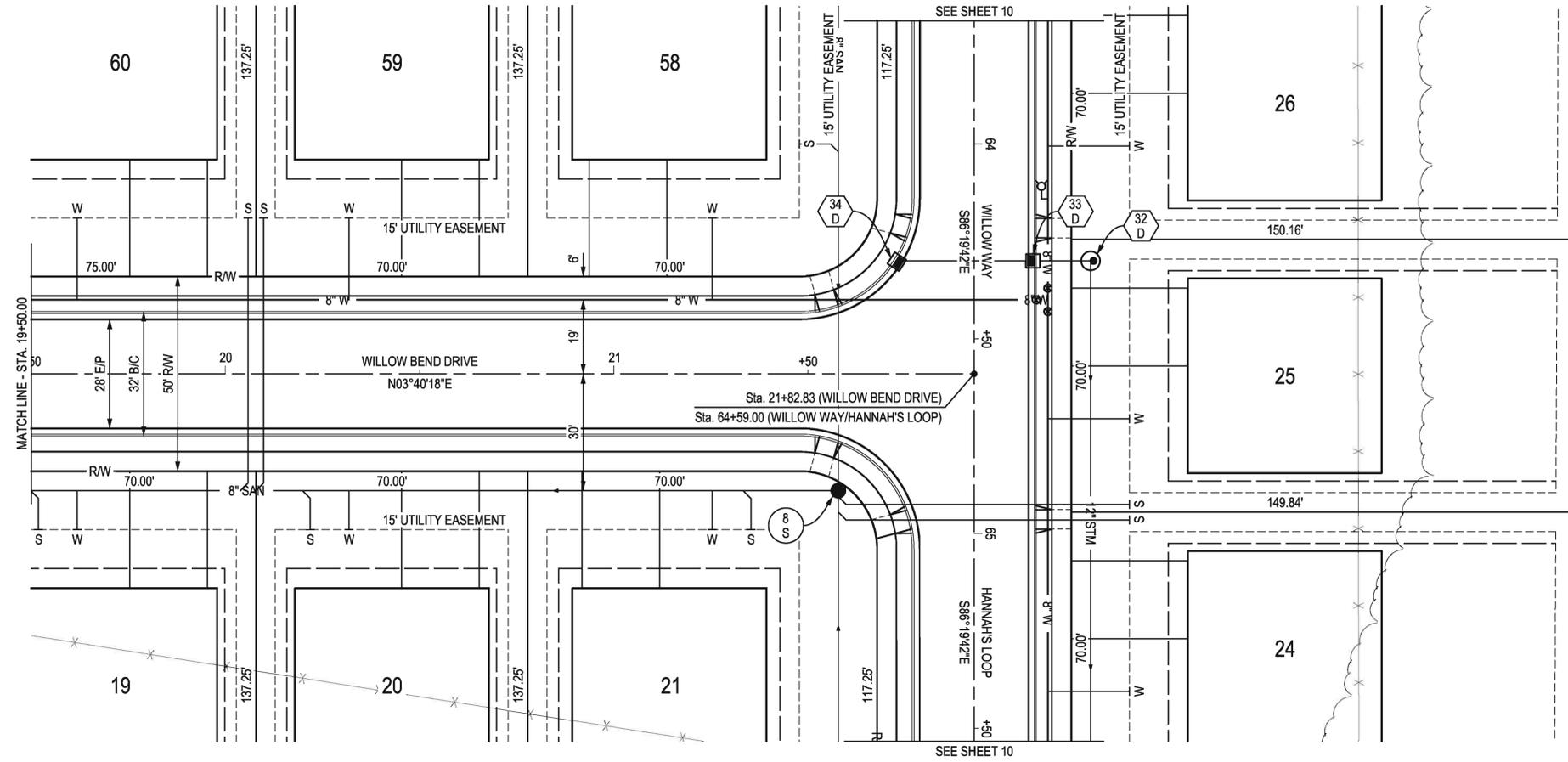
PLAN & PROFILE  
WILLOW BEND DRIVE

WILLOW BEND SUBDIVISION  
PRELIMINARY PLAN  
CITY OF NEWARK, OHIO

OCT. 22, 2021  
JOB #21-098

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14

# PLAN & PROFILE - WILLOW BEND DRIVE



DRAWN	B.W.
CHECKED	R.R.B.
REVIEWED	B.C.K.

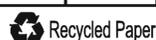


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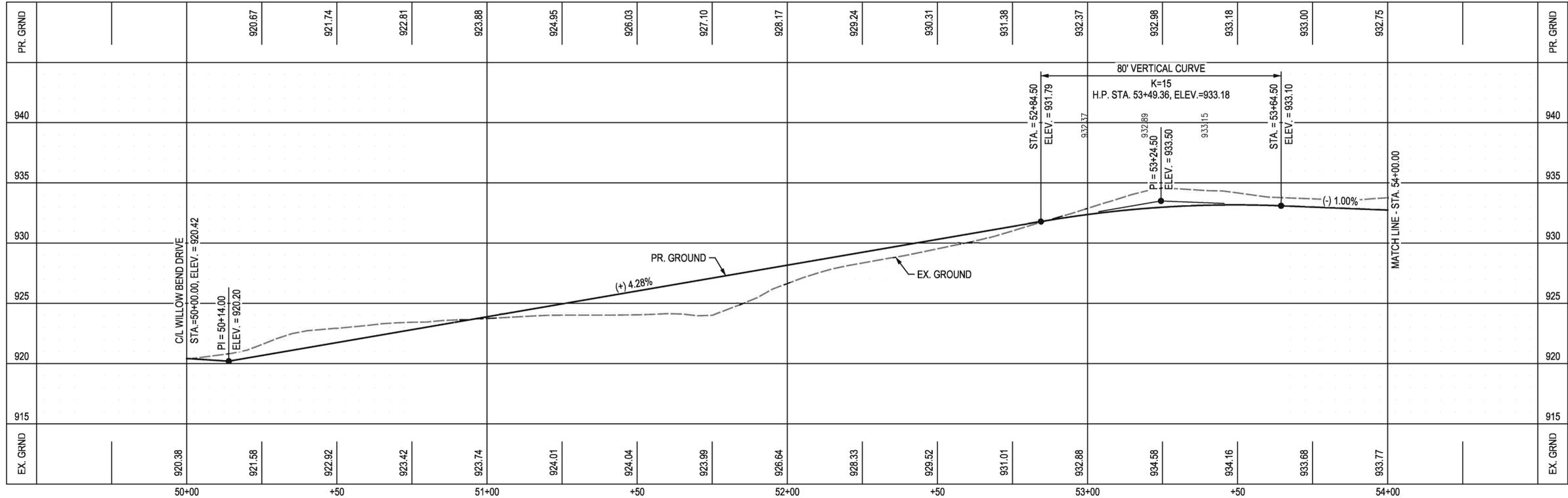
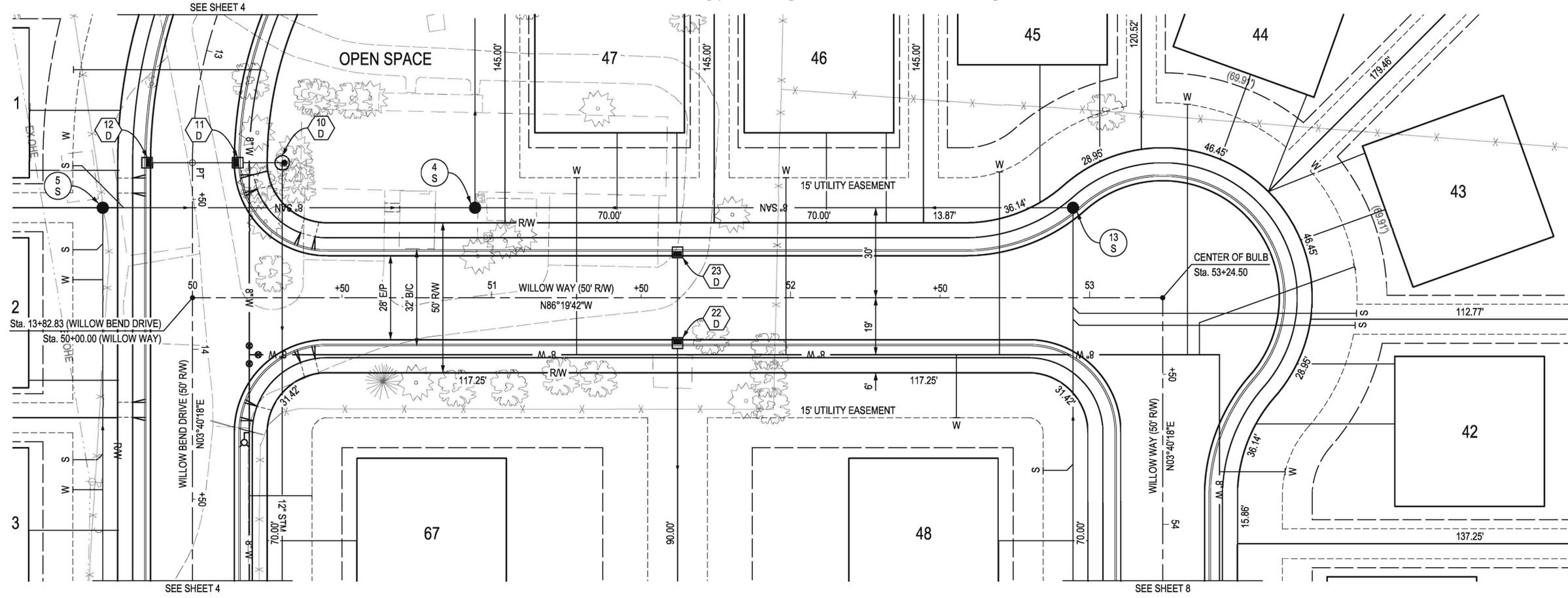
PLAN & PROFILE  
WILLOW BEND DRIVE

WILLOW BEND SUBDIVISION  
PRELIMINARY PLAT  
CITY OF NEWARK, OHIO

OCT. 22, 2021  
JOB #21-098



# PLAN & PROFILE - WILLOW WAY



DRAWN: B.W.  
CHECKED: R.R.B.  
REVIEWED: B.C.K.



88 West Church Street, Newark, OH 43055, (740) 344-1921

REVISIONS

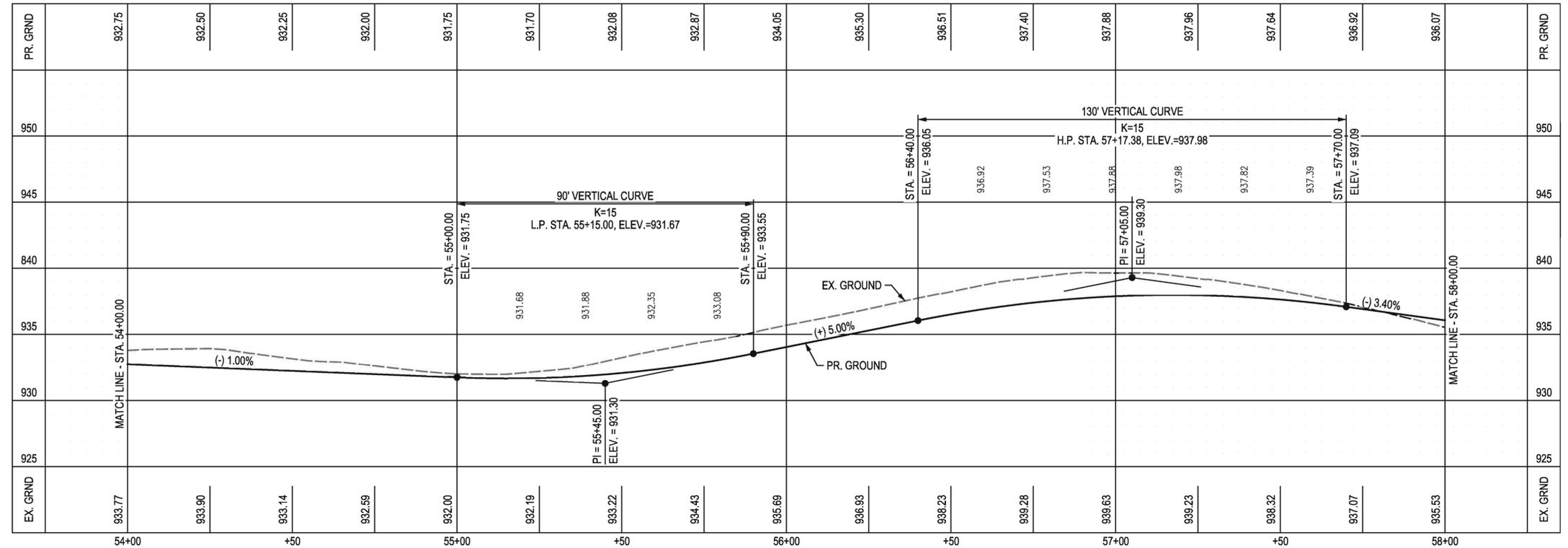
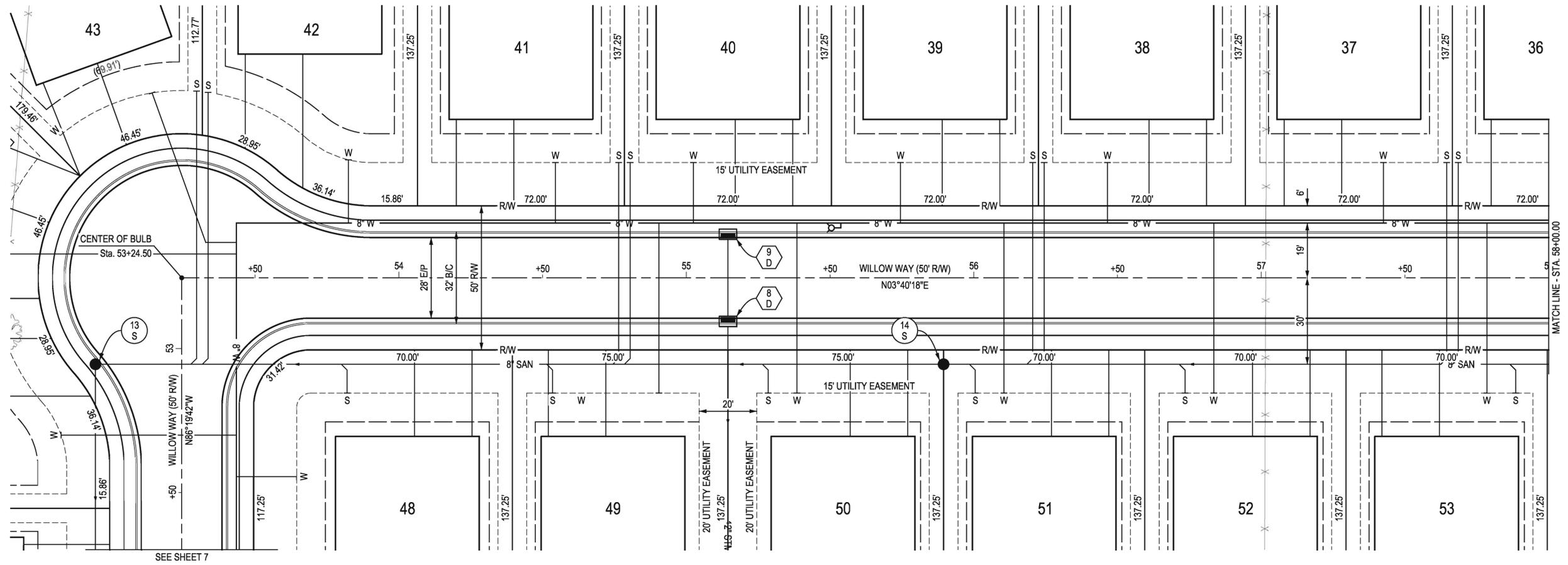
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## PLAN & PROFILE WILLOW WAY

## WILLOW BEND SUBDIVISION PRELIMINARY PLAN CITY OF NEWARK, OHIO

OCT. 22, 2021  
JOB #21-098

# PLAN & PROFILE - WILLOW WAY



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CHECKED	R/RB
REVIEWED	B/BK

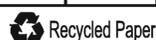


REVISIONS

## PLAN & PROFILE WILLOW WAY

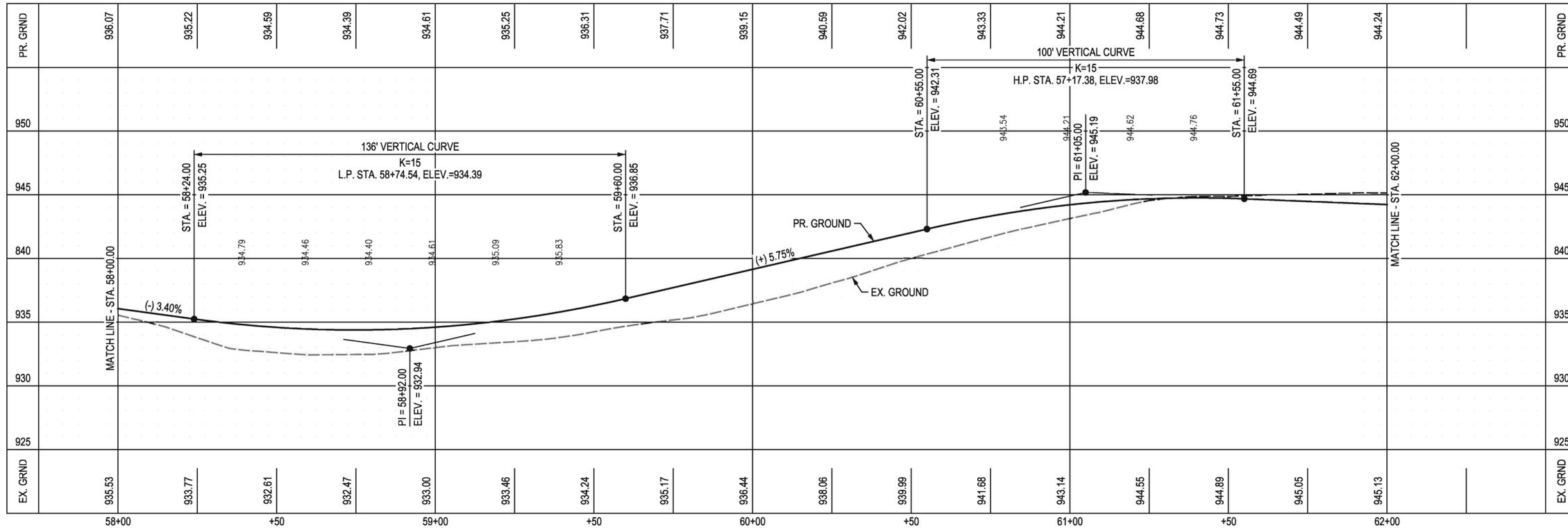
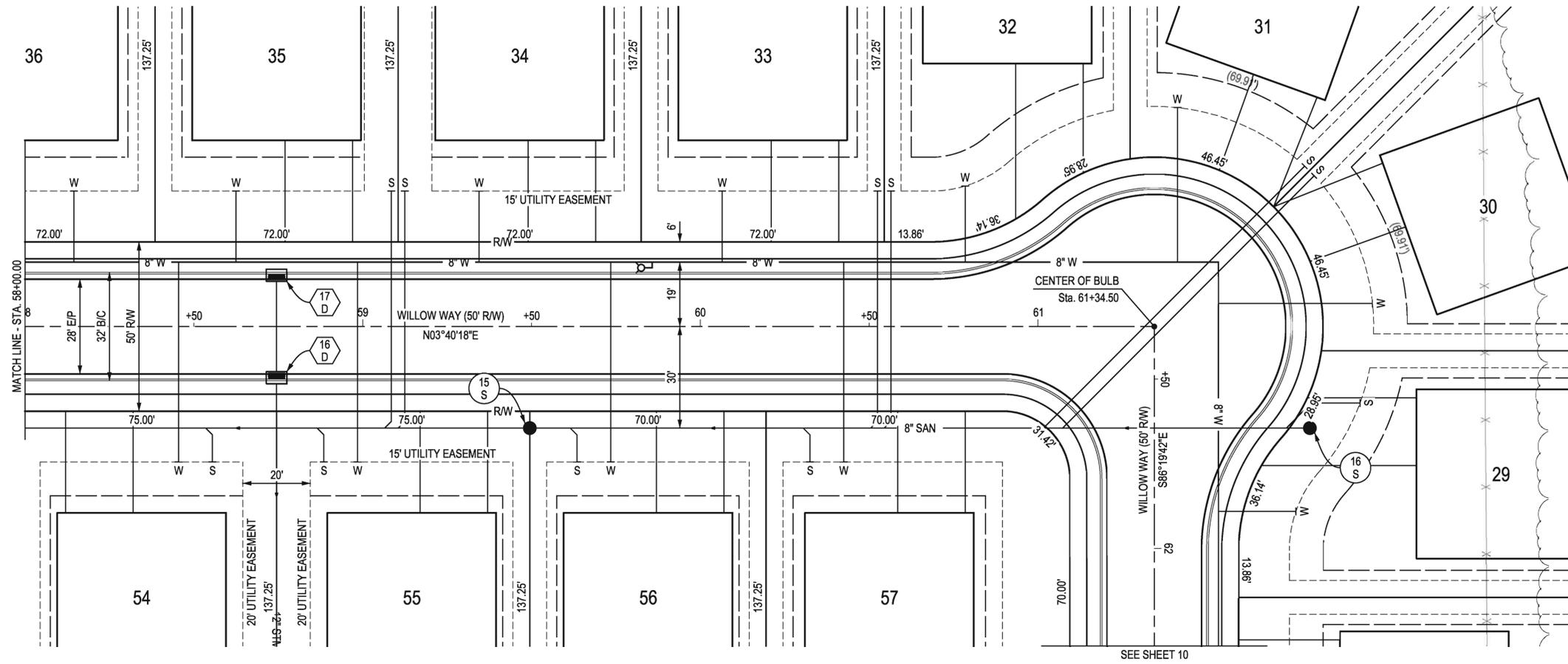
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OCT. 22, 2021  
JOB #21-098



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# PLAN & PROFILE - WILLOW WAY



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CHECKED: RRB  
REVIEWED: BCK



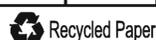
88 West Church Street, Newark, OH 43055, (740) 344-1921

NO.	DESCRIPTION

## PLAN & PROFILE WILLOW WAY

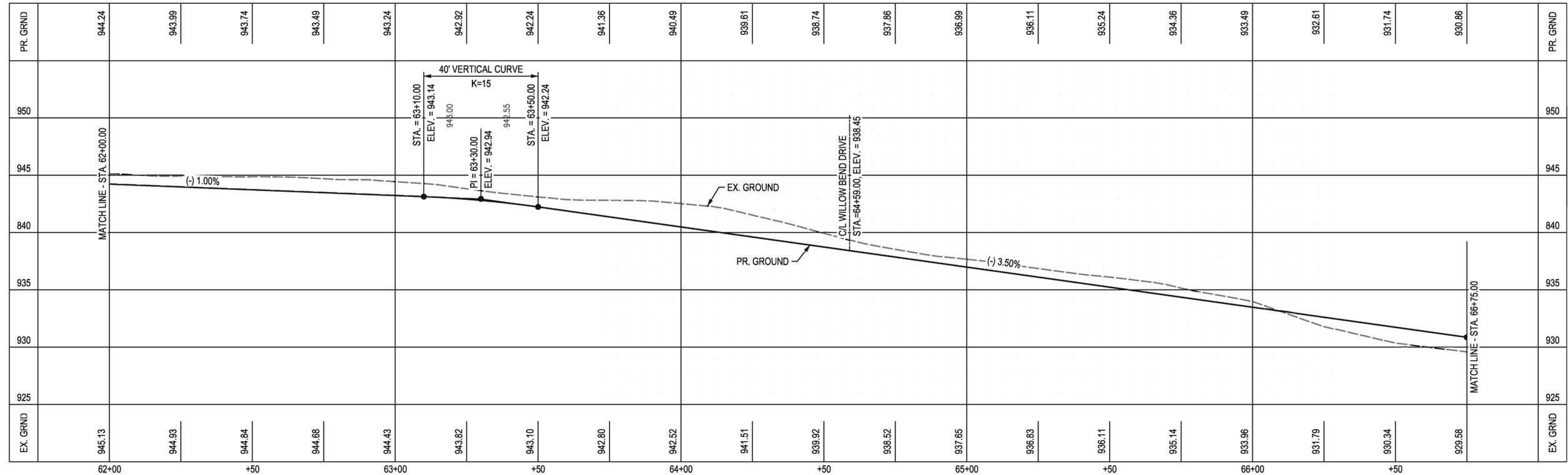
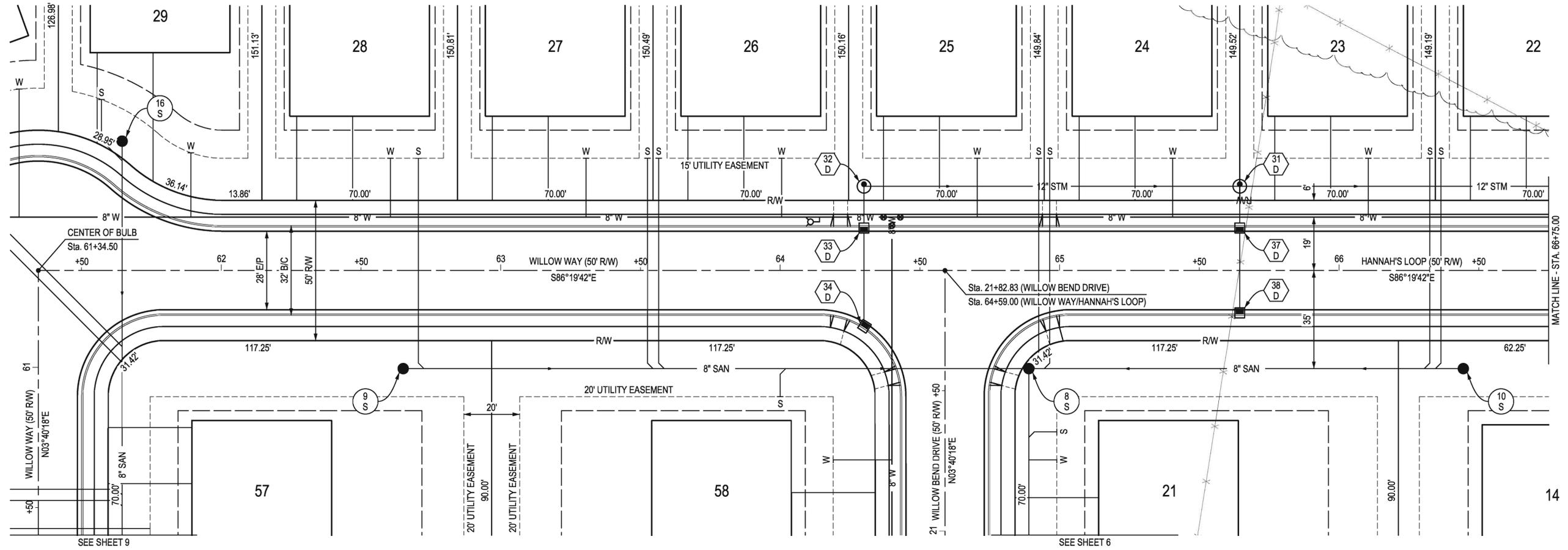
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OCT. 22, 2021  
JOB #21-098



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# PLAN & PROFILE - WILLOW WAY & HANNAH'S LOOP



DRAWN: B/W  
CHECKED: RRB  
REVIEWED: BCK



88 West Church Street, Newark, OH 43055 - (740) 344-1921

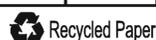
REVISIONS

PLAN & PROFILE  
WILLOW WAY &  
HANNAH'S LOOP

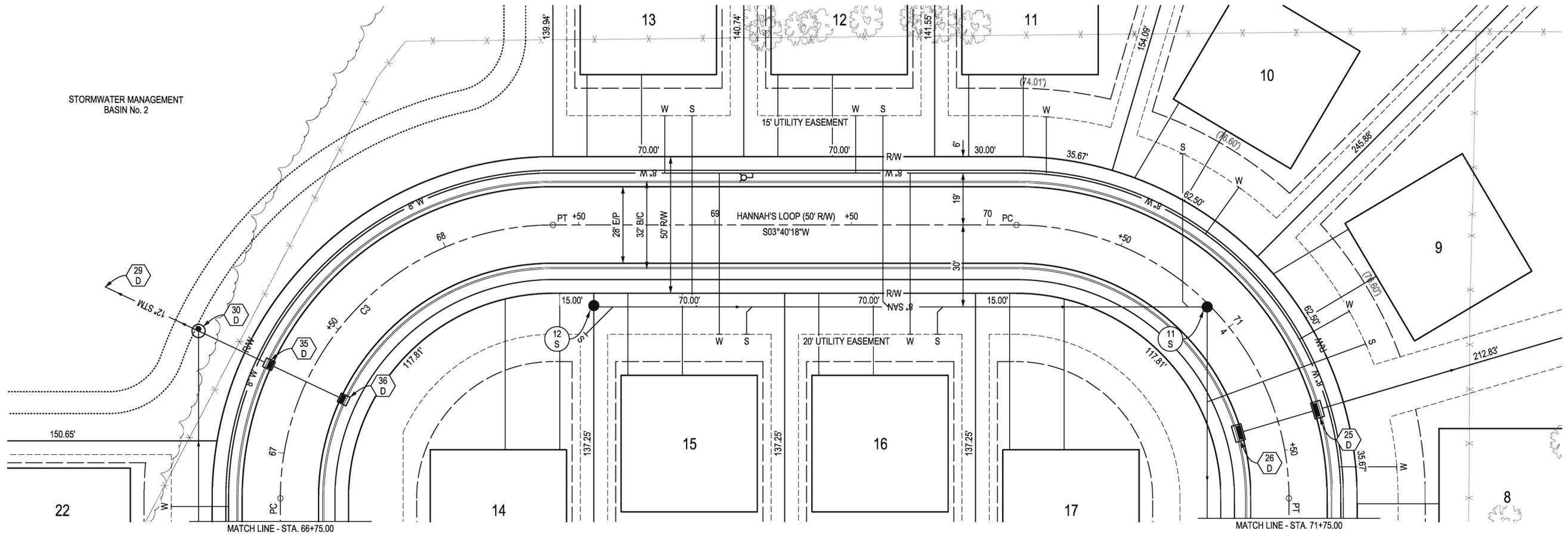
WILLOW BEND SUBDIVISION  
PRELIMINARY PLAT  
CITY OF NEWARK, OHIO

OCT. 22, 2021  
JOB #21-098

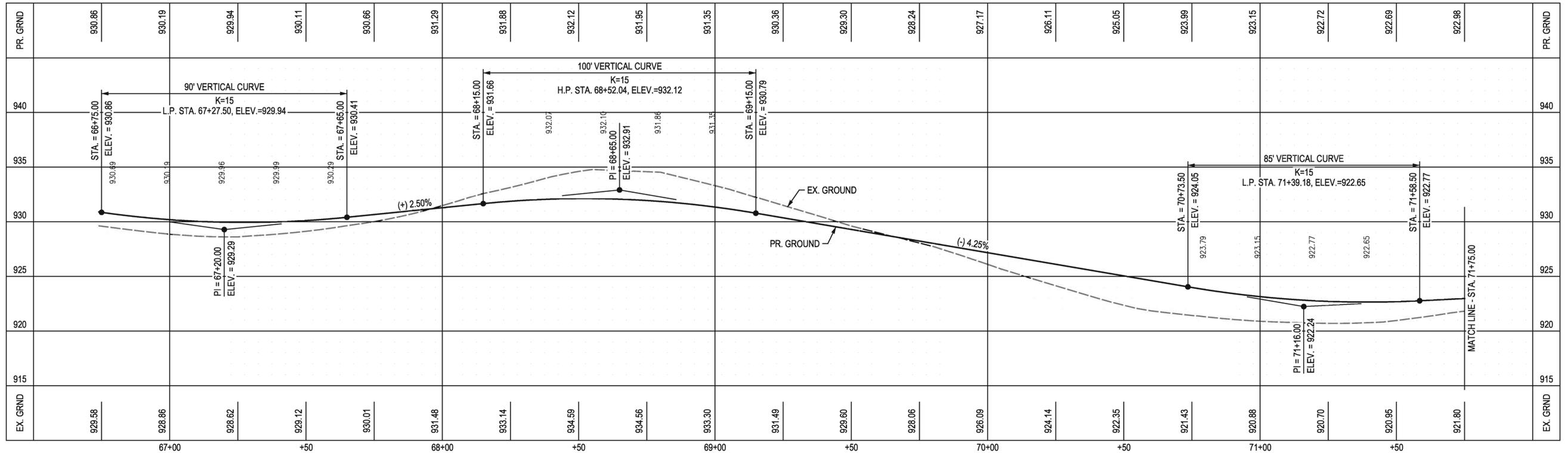
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# PLAN & PROFILE - HANNAH'S LOOP



CENTERLINE CURVE TABLE								
No.	DELTA	RADIUS	TANGENT	LENGTH	Ch. BEARING	Ch. DISTANCE	PC STATION	PT STATION
C3	90°00'00"	100.00'	100.00'	157.08'	S41°19'42"E	141.42'	66+83.50	68+40.58
C4	90°00'00"	100.00'	100.00'	157.08'	S48°40'18"W	141.42'	70+10.58	71+67.66



DRAWN: B/W  
CHECKED: RRB  
REVIEWED: BCK



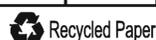
REVISIONS

PLAN & PROFILE  
HANNAH'S LOOP

WILLOW BEND SUBDIVISION  
PRELIMINARY PLAN  
CITY OF NEWARK, OHIO

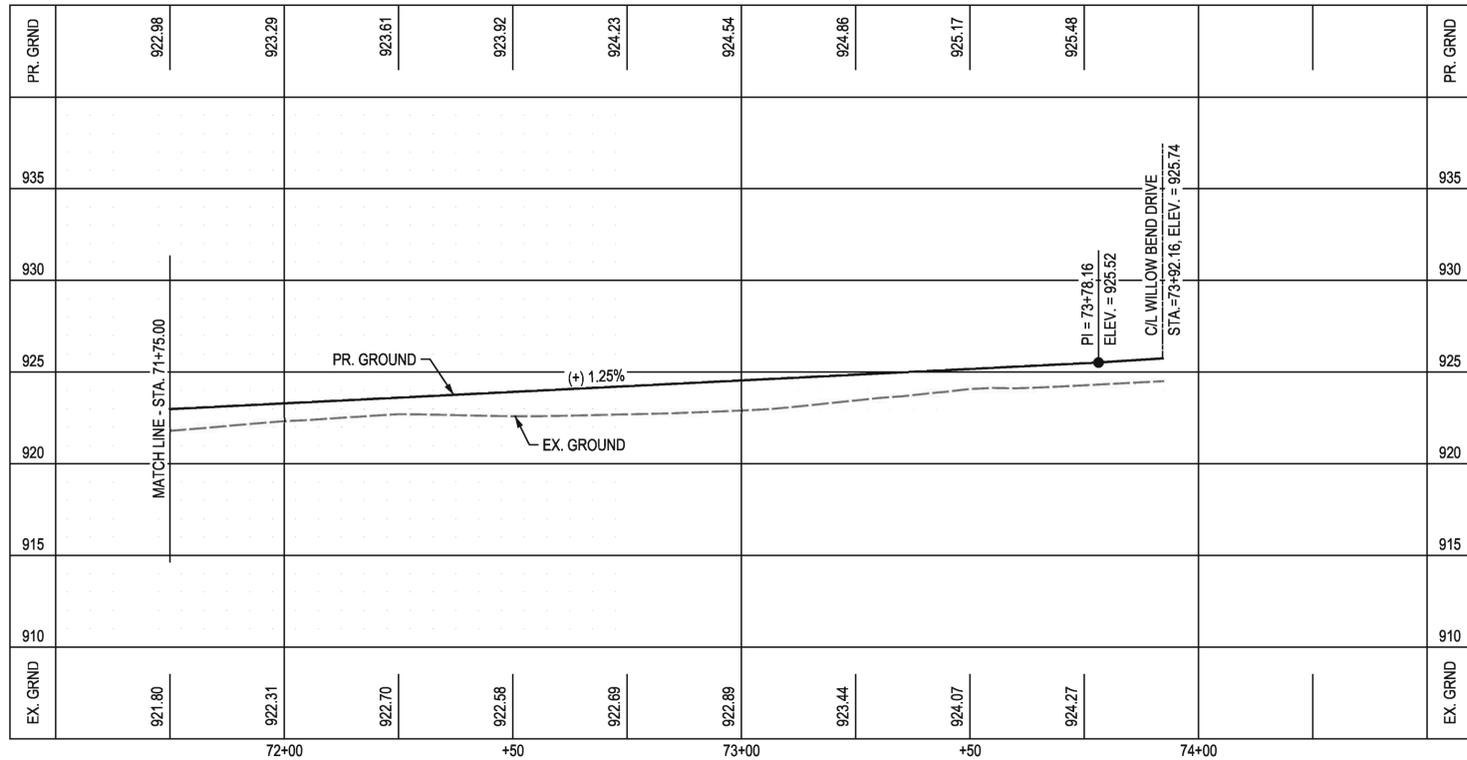
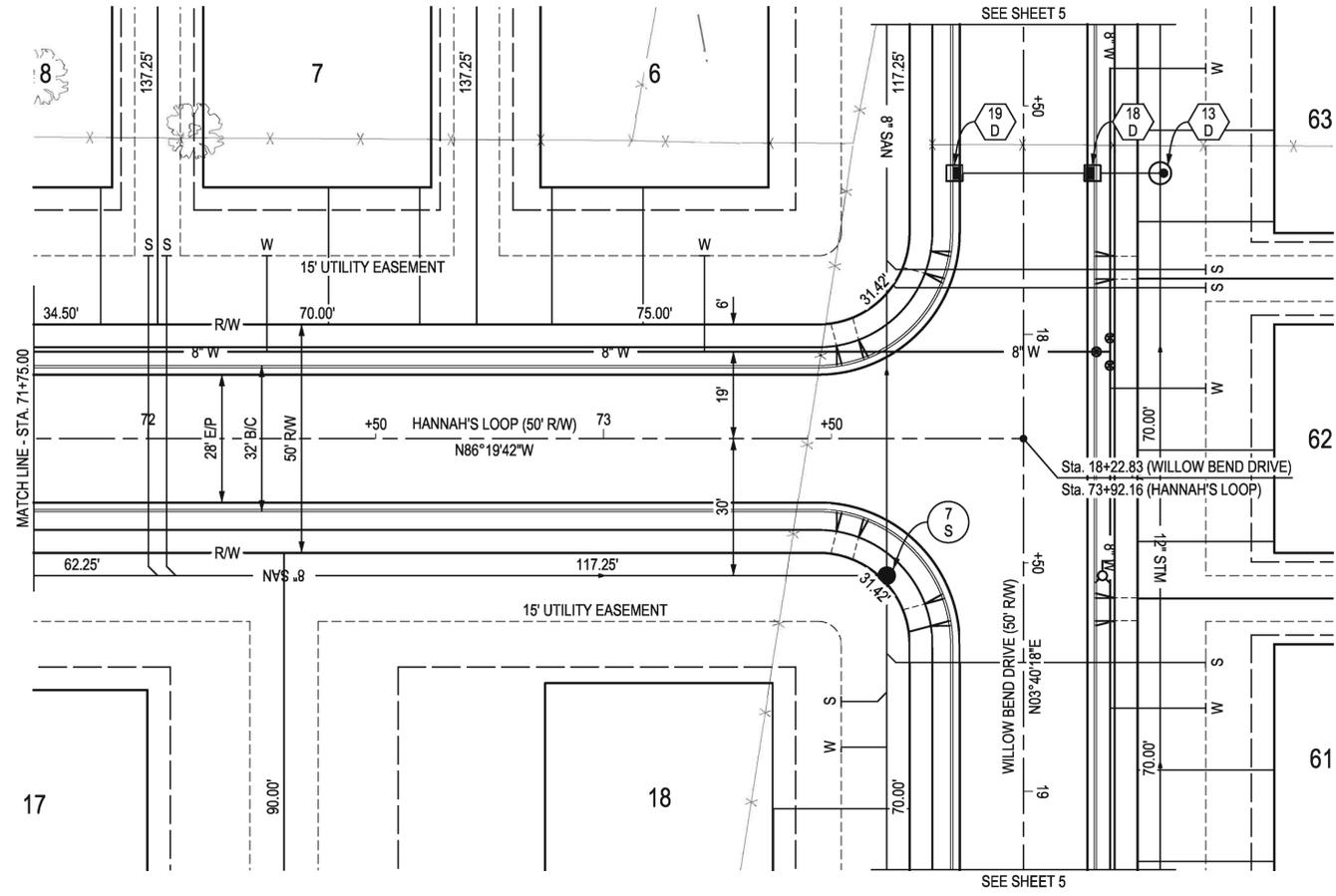
OCT. 22, 2021  
JOB #21-098

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# PLAN & PROFILE - HANNAH'S LOOP



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CHECKED: RRB  
REVIEWED: BCK



REVISIONS

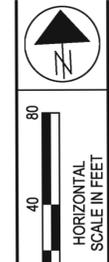
PLAN & PROFILE  
HANNAH'S LOOP

WILLOW BEND SUBDIVISION  
PRELIMINARY PLAT  
CITY OF NEWARK, OHIO

OCT. 22, 2021  
JOB #21-098

12  
14

# GRADING PLAN



HORIZONTAL SCALE IN FEET

ADP  
ARCHITECTURAL DESIGN PARTNERS

NO.	DATE	REVISIONS
1		
2		
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GRADING PLAN

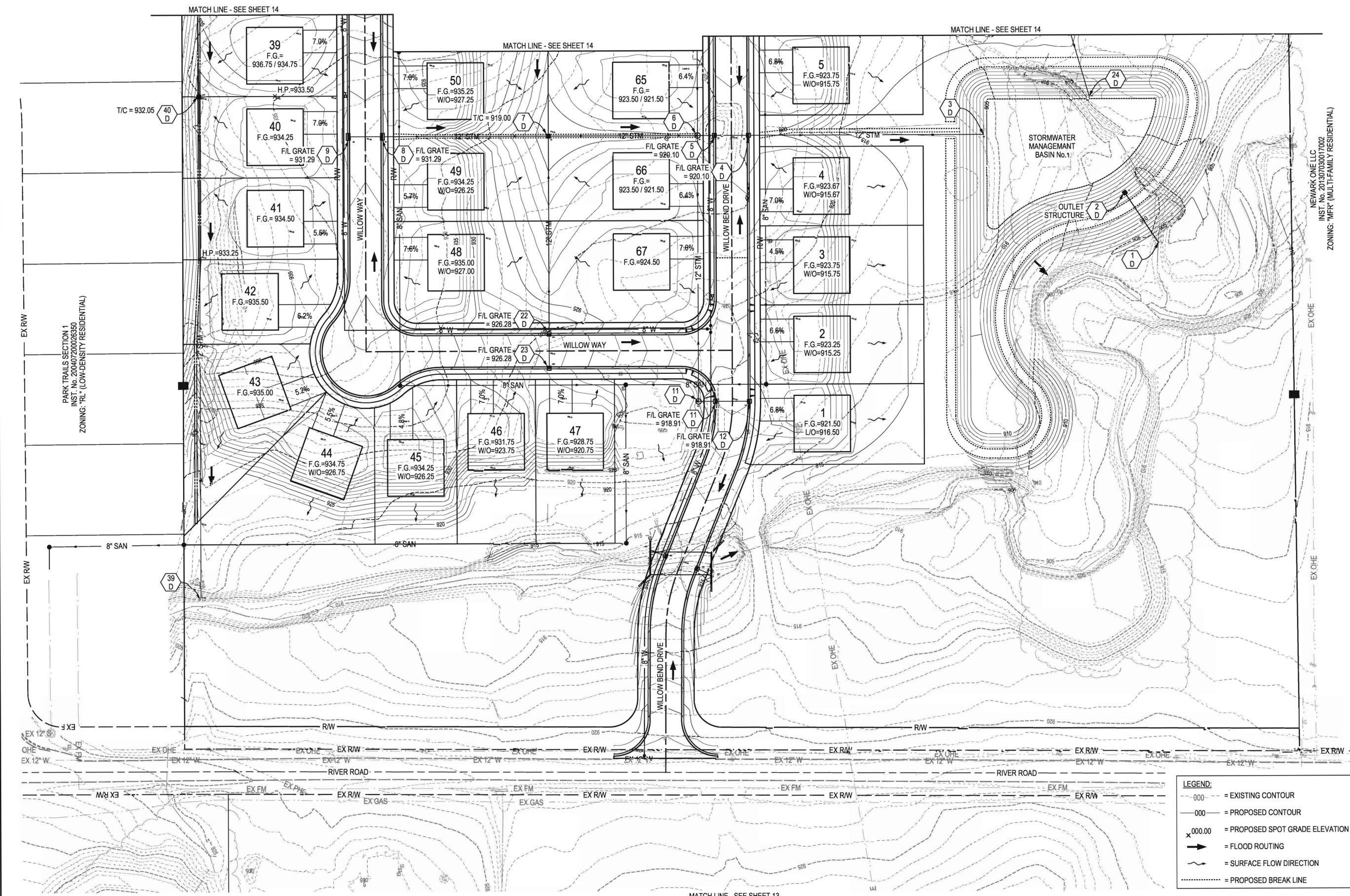
WILLOW BEND SUBDIVISION  
 PRELIMINARY PLAN  
 CITY OF NEWARK, OHIO

OCT. 22, 2021  
 JOB #21-008

13  
 14

NEWARK ONE LLC  
 INST. No. 201307030017002  
 ZONING: "MFR" (MULTI-FAMILY RESIDENTIAL)

PRINTED 10/22/2021 8:30:04 AM P:\ADP\2021\21-008 Willow Brook Bend Subdivision - Newark\tdgn\Preliminary Plat\13-14\_Grading Plan.dgn



**LEGEND:**

- - - 000 - - - = EXISTING CONTOUR
- 000 — = PROPOSED CONTOUR
- x 000.00 = PROPOSED SPOT GRADE ELEVATION
- = FLOOD ROUTING
- ~ = SURFACE FLOW DIRECTION
- ..... = PROPOSED BREAK LINE

MATCH LINE - SEE SHEET 14

MATCH LINE - SEE SHEET 14

MATCH LINE - SEE SHEET 14

MATCH LINE - SEE SHEET 13



# ALTANS/NSPS LAND TITLE SURVEY

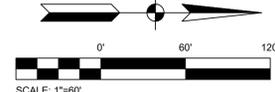
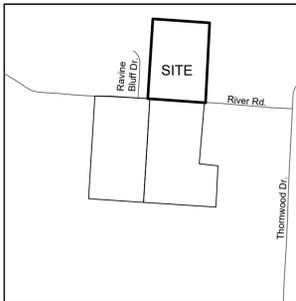
## STATE OF OHIO, COUNTY OF LICKING, CITY OF NEWARK

### QUARTER SECTION 4, TOWNSHIP 2, RANGE 13

### UNITED STATES MILITARY LANDS

**GENERAL PROPERTY INFORMATION**

Owners of Record: Roger R. & Bridget B Harris  
 Current Tax PIDs: 056-041370-02.000  
 Current Tax District: Newark City -Granville EVSD  
 Current Deed Reference: I.N. 201509300021093, I.N. 201706060011757  
 Current Site Address: 2811 River Road, Granville, OH 43023



PLOT SCALE: 1"=60' AM EDIT DATE: 8/17/21 - 9:49 AM EDITED BY: JHUMANS DRAWING FILE: 0:202001839D\_DRAWINGS/SURVEY/202001839D\_SV\_2021-04-19.XTP.DWG

Corridor Development  
Company, LLC

**AMERICAN  
STRUCTUREPOINT  
INC.**

2550 Corporate Exchange Dr., Ste. 300 | Columbus, Ohio 43231  
TEL 614.901.2235 | FAX 614.901.2236  
www.structurepoint.com

ALTANS/NSPS LAND TITLE SURVEY  
FOR  
**CARRIAGE TRAILS AT THE HEIGHTS**  
CITY OF NEWARK, LICKING COUNTY, OHIO

REVISIONS	DATE	DESCRIPTION	APPROVED	DATE

DATE:	05/27/2021
DRAWN BY:	CRH
CHECKED BY:	BPB
JOB NUMBER:	2020.01839

**EXHIBIT "A" - LEGAL DESCRIPTION**

Situate in the City of Newark, County of Licking and State of Ohio:

Being part of Lot 2 in the 4th Quarter of Township 2 and Range 13 of the U.S.M. Lands and further bounded and described as follows:

Beginning at a point at the intersection of the centerline of Township Road 131 and the westerly line of said Lot 2;

Thence North 6 degrees 30 minutes 12 seconds East, passing along an existing fence line and passing along said westerly line of Lot 2 and the easterly line of the Gebard W. Keny property (deed reference, Volume 656 at page 638 of the Deed Records of Licking County, Ohio), passing an iron pin at 30.00 feet, a total distance of 1354.10 feet to an iron pin;

Thence South 83 degrees 15 minutes East, 973.54 feet to an iron pin;

Thence South 5 degrees 52 minutes West, passing existing iron pins at 664.54 feet and 1324.25 feet, a total distance of 1354.25 feet to a point in the said centerline of Township Road 131;

Thence North 83 degrees 15 minutes West, passing along the said centerline of Township Road 131, 988.59 feet to the place of beginning; Containing 30.50 acres, more or less.

The above description prepared by Alvin R. Jobs, Registered Surveyor #5006, dated December 8, 1975.

**BASIS OF BEARINGS**

Bearings described hereon are measured from Grid North, referenced to the Ohio State Plane Coordinate System (South Zone) and the North American Datum of 1983 (2011 Adjustment), as established utilizing a GPS survey and an NGS OPUS solution.

**SURVEYOR'S NOTES**

- This plat of an ALTA/NSPS LAND TITLE SURVEY is based upon the Old Republic National Title Insurance Company commitment for title insurance having Commitment No.24-634 and the effective date of June 24, 2020 at 8:30 AM issued by Stimson House Title nc..
- No comment is made regarding the following Exceptions in Schedule BII of the commitment for title insurance: Items 1-12 and 15-16.
- The following notes are keyed the Exceptions in Schedule B - Section II of the above reference commitment for title insurance and pertain only to the location of the item in relation to the subject premises. The undersigned makes no assumptions or assertions as to what rights exist or do not exist as described in the below documents.
  - Item 13: Pipeline Right of Way to W.W. & A.T. Wehrle appearing of record in Lease Volume 40, at page 396, Licking County records.
    - Assigned to The National Gas Company in Deed Volume 339, at page 95
    - Assigned to A.T. Wehrle, Cecilia Wehrle Rank and Laura W. Wehrle in Deed Volume 403, at page 294 and Lease Volume 78, at page 539.
    - Assigned to The Clinton Oil Company in Deed Volume 403, at page 369 and Lease Volume 78, at page 576.
    - Releases appear of record in Deed Volume 523, at page 551 and Deed Volume 573, at page 533. (undetermined if captioned property is included)
    - Assigned to Newzane Gas Company in Deed Volume 743, at page 220.
    - Last Assigned to National Gas and Oil Corporation in Official Record 27, at page 293.

**Surveyor's Notes:** May affect subject property. Location and width of easement and release not included in instruments. Not plotted on plat.

- Item 14: Poleline Easement granted to The Ohio Power Company appearing of the record in Deed Volume 291, at page 150, Licking County records.
    - Partial Release of 92.24 acres appearing of record in Deed Volume 722, at page 916.
    - Release of Easement with retention of a 15 foot wide easement appearing of record as Instrument Number 200003310010008.
- Surveyor's Notes:** Affects subject property. Located along River Road. No further location or width provided. Unable to plot.

- The purpose of this survey was to prepare an ALTA/NSPS Land Title Survey for the site.
- This plat of an ALTA/NSPS LAND TITLE SURVEY represents the conditions of the site on: March 2, 2021 (date of latest field activity)
- The accuracy of any flood hazard data shown on this survey is subject to map scale uncertainty and to any other uncertainty in location or elevation on the referenced Flood Insurance Rate Map. Flood Insurance Rate Map having Community-Panel Number 39089C0336H (effective date May 2, 2007) of the National Flood Insurance Program indicates this site to be within zone "X" (areas determined to be outside 500-year floodplain).
- The following encroachments were observed on the subject property:
  - Wood wall crossing creek along east property line.
- The subject property is adjacent to River Rd (Township Hwy 131). The subject property has vehicular access to River Rd (Township Hwy 131) in the form of one (1) asphalt drive.
- Discussion of Certain ALTA Table A Items:
  - Item 6: No zoning information provided by client.
  - Item 7: 6 permanent structures currently exist on the subject property.
  - Item 9: There are currently no delineated parking spaces on the subject property.

- The locations of any underground utilities shown on this plat are based upon above ground evidence (including, but not limited to, manholes, inlets, and marks made on the ground by others) or plan information provided by the utility owners and are speculative in nature. There may be underground utilities for which there is no above ground evidence, for which the above ground evidence was not observed (i.e. buried or paved over), or for which no plans were provided.
  - Observed evidence of Gas, Electric, Water, Telecommunications (which may or may not include telephone, cable TV and fiber optic lines), Sanitary Sewer and Storm Drainage exist on or adjacent to the subject property.
- No observed evidence of building construction or earth moving work currently exists on site.
- The undersigned has not been made aware of any proposed changes to the public right-of-way width or location. There is no evidence of recent sidewalk construction.
- The undersigned is aware of the following offsite easements or servitudes:
  - American Structurepoint, Inc. makes no warranty, either expressed or implied, as to our staking, findings, recommendations, plans, specifications, or professional advice except that the work was performed pursuant to generally accepted standards of practice and degree of care exercised by members of the same profession on projects of comparable size and complexity. As used in this survey, the word certify (certified, certification, and/or certificate) shall be interpreted as meaning a professional opinion regarding the conditions of those facts and/or findings which are the subject of the certification and does not constitute a warranty or guarantee, either express or implied.

- This Plat of an ALTA/NSPS LAND TITLE SURVEY represents a survey made under my supervision and in compliance with the Minimum Standards for Boundary Surveys as established by Chapter 4733-37 of the Ohio Administrative Code with corners established as shown and is true and correct to the best of my knowledge.

To: Roger R. Harris and Bridget B. Harris; Carriage Trail at the Heights; Corridor Development Company, LLC; Old Republic National Title Insurance Company; Stimson House Title, Inc; and all of their respective successors and/or assigns as their interests may appear:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 11(b), 13, 14, 16, 17, 18 and 19 of Table A thereof. The original field work was completed on March 2, 2021

Date of Plat or Map: May 27, 2021  
This document is not valid unless imprinted with a land surveyor's seal.

Brian P. Bingham Date  
Professional Land Surveyor 8438

**ADJOINER TABLE**

10	PID: 056-042264-00.002 PARK TRAILS HOMEOWNERS' ASSOCIATION, INC. I.N. 200204160014415 RESERVE B	20	PID: 056-042264-00.151 WILLIAM S. KOPPERT AND JULIE A. KOPPERT I.N. 200609180014162 LOT 12714
11	PID: 056-042264-00.066 BENJAMIN A. DILS AND DENISE M. DILS I.N. 201609230020742 LOT 12619	21	PID: 056-042264-00.150 KERI L. VRADENBURG AND ERIK L. VRADENBURG I.N. 201910110022240 LOT 12713
12	PID: 056-042264-00.065 MICHELLE D. SMITH AND ALAN C. SMITH I.N. 200604050009504 LOT 12618	22	PID: 056-042264-00.149 BRIAN C. PITCHER AND INGRID E. PITCHER I.N. 200208120029319 LOT 12712
13	PID: 056-042264-00.064 BOYD B. MCCAMISH AND CHRISTINA D. MCCAMISH I.N. 201510150022380 LOT 12617	23	PID: 056-042264-00.147 JEROD SCOTT UNTIED AND MICHELLE UNTIED I.N. 202104010009503 LOT 12710
14	PID: 056-042264-00.063 SCOTT H. DUTHIE, TRUSTEE OF THE SCOTT H. DUTHIE REVOCABLE TRUST AND RITA L. DUTHIE, TRUSTEE OF THE RITA L. DUTHIE REVOCABLE TRUST I.N. 200911120024493 LOT 12616	24	PID: 056-042264-00.146 BRIAN BLODGETT AND LISA D. BLODGETT I.N. 200707300019749 LOT 12709
15	PID: 056-042264-00.062 STEVEN D. BARNARD AND GAYLE L. BARNARD I.N. 201606270013072 LOT 12615	25	PID: 056-042264-00.145 JEFFREY M. AULET I.N. 201705090009564 LOT 12708
16	PID: 056-042264-00.061 JONATHAN K. BAFFORD AND TIFFANY A. BAFFORD I.N. 20011204043538 LOT 12614	26	PID: 056-042264-00.144 CHRISTOPHER C. FRANKS AND STACI FRANKS I.N. 201505280010516 LOT 12707
17	PID: 056-042264-00.060 TROY A. MELICK I.N. 200802130003362 LOT 12613	27	PID: 056-042264-00.143 JASON S. SMITH AND LORA M. SMITH I.N. 202104070010159 LOT 12706
18	PID: 056-042264-00.059 JEFFREY L. SALTER AND ANGELA R. SALTER I.N. 200106260022793 LOT 12612	28	PID: 056-042264-00.142 RICHARD P. MESERVE AND MEGAN MESERVE I.N. 201807300015583 LOT 12705
19	PID: 056-042264-00.152 CAROL SUSAN BALSLEY I.N. 202102100004513 LOT 12715		

PLOT SCALE: 1" = 40' DATE: 8/17/21 - 9:49 AM EDITED BY: JVOUMANS DRAWING FILE: O:\2020\01839\01.DRAWINGS\SURVEY\202001839.SV 2021-04-16 10:11:10 AM

Corridor Development Company, LLC



2550 Corporate Exchange Dr., Ste. 300 | Columbus, Ohio 43231  
TEL: 614.961.2235 | FAX: 614.901.2236  
www.structurepoint.com

ALTA/NSPS LAND TITLE SURVEY FOR  
**CARRIAGE TRAILS AT THE HEIGHTS**  
CITY OF NEWARK, LICKING COUNTY, OHIO

REVISIONS	DATE	SHEET NO.	DESCRIPTION	APPROVED	DATE

DATE:	05/27/2021
DRAWN BY:	CRH
CHECKED BY:	BPB
JOB NUMBER:	2020.01839



## CITY OF NEWARK PLANNING COMMISSION STAFF REPORT

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### JANUARY 11, 2022 PLANNING COMMISSION MEETING

#### Application:

1. ***PC-21-53, FILE 21-536: SITE PLAN FOR NEW WAREHOUSE STORAGE BUILDING AT UHAUL, 144 DERBY DOWNS ROAD***

#### Staff Report & Recommendations:

##### **Overview:**

The applicant intends to build new 85' x 96' metal warehouse storage building totaling 8088 SF north of the existing building on the site.

The Site Plan Review Committee submitted comments on 1/6/2022 regarding this application. Reviewers included:

- Mark Mauter, Development Director
- Pat Connor, Fire Chief
- Bruce Gossett, Aaron Holman - NFD
- Craig Riley, Deputy Police Chief
- Roger Loomis, Utilities Superintendent
- Adam Bernard, Utilities Engineer
- Lindsey Brighton, Stormwater Utility
- Nick Shultz, Street and Traffic Engineer
- Don Hiltner, Senior Engineer
- Brian Morehead, City Engineer
- George Carter, Zoning Inspector

##### A. Zoning District:

This site is zoned General Commercial District (GC); the proposed use is a permitted use.

**Flood Zones:** There are no flood zones identified on this entire site.

##### B. Safety Division Review:

The Police have no concerns, and Fire Division reviews will be presented at the PC meeting.

##### C. Height Restrictions:

There are no height restrictions in this district.

##### D. Lot Area & Setbacks:

Parcel is approximately 75,359 S.F. +/-, with 27% building coverage, which meets the lot area requirements. The proposed structure appears to meet the setback requirements.

##### E. Off-Street Parking & Loading:

There are 9 parking spaces required for the construction and use of this structure. The 35 existing parking spaces on the site will remain, which meets the requirements.

##### F. Corner Lots:

No structures are proposed at this time in the lot corner area.



## CITY OF NEWARK PLANNING COMMISSION STAFF REPORT

---

**G. Landscaping, Buffering & Greenspace:**

The landscaping requirement consists of 10,886 +/- SF of green space (Lawn) and greater than 2722 SF of the green space area shall be ground cover (planting areas) as required by the Zoning Code. In addition, 5 trees are required on the site. A landscaping plan has not yet been submitted for review. we need to see more detail regarding the landscape screening adjacent to the residential areas.

**H. Public & Private Roadways – Access Management:**

No new driveway approaches are proposed to serve this structure.

**I. Site Signage:**

No signage has been submitted with the proposal.

**J. Traffic Control / Street / Right-of-Way Issues:**

No changes or additions affecting the traffic flow are proposed.

**K. Engineering / Utilities:**

No specific services to the building addition have yet been proposed, and it is anticipated that services would be extended from the existing building. Engineering will follow up for compliance prior to construction.

There has been no stormwater management plan submitted, and this should be submitted and reviewed prior to zoning approval.

**L. Other Standards/Regulations**

No other comments at this time.

**Recommendations:**

A recommendation will be provided at the meeting, pending the comments of the Fire Division.

Otherwise, Staff recommends approval of this basic site plan at this time, contingent upon the resolution of the issues listed:

1. Landscaping screening requirements for this site.
2. Compliance with City’s Stormwater Management requirements.

If approved by Planning Commission, the zoning certificate will not be granted until the above conditions are resolved / met.

**Planning Commission Action on Recommendation:**

- \_\_\_\_\_ Approved As Submitted
- \_\_\_\_\_ Approved As Noted, With Contingencies
- \_\_\_\_\_ Denied

---

Planning Director \_\_\_\_\_ Date \_\_\_\_\_

NOT FOR CONSTRUCTION



4625 Tremont Club Drive  
Hilliard, Ohio 43026  
614.296.7732

dcharchitect@sbcbglobal.net

**928070**

Project 22104



NEW WAREHOUSE BUILDING  
U-HAUL INTERNATIONAL  
140 DERBY DOWNS ROAD  
NEWARK, OHIO 43055

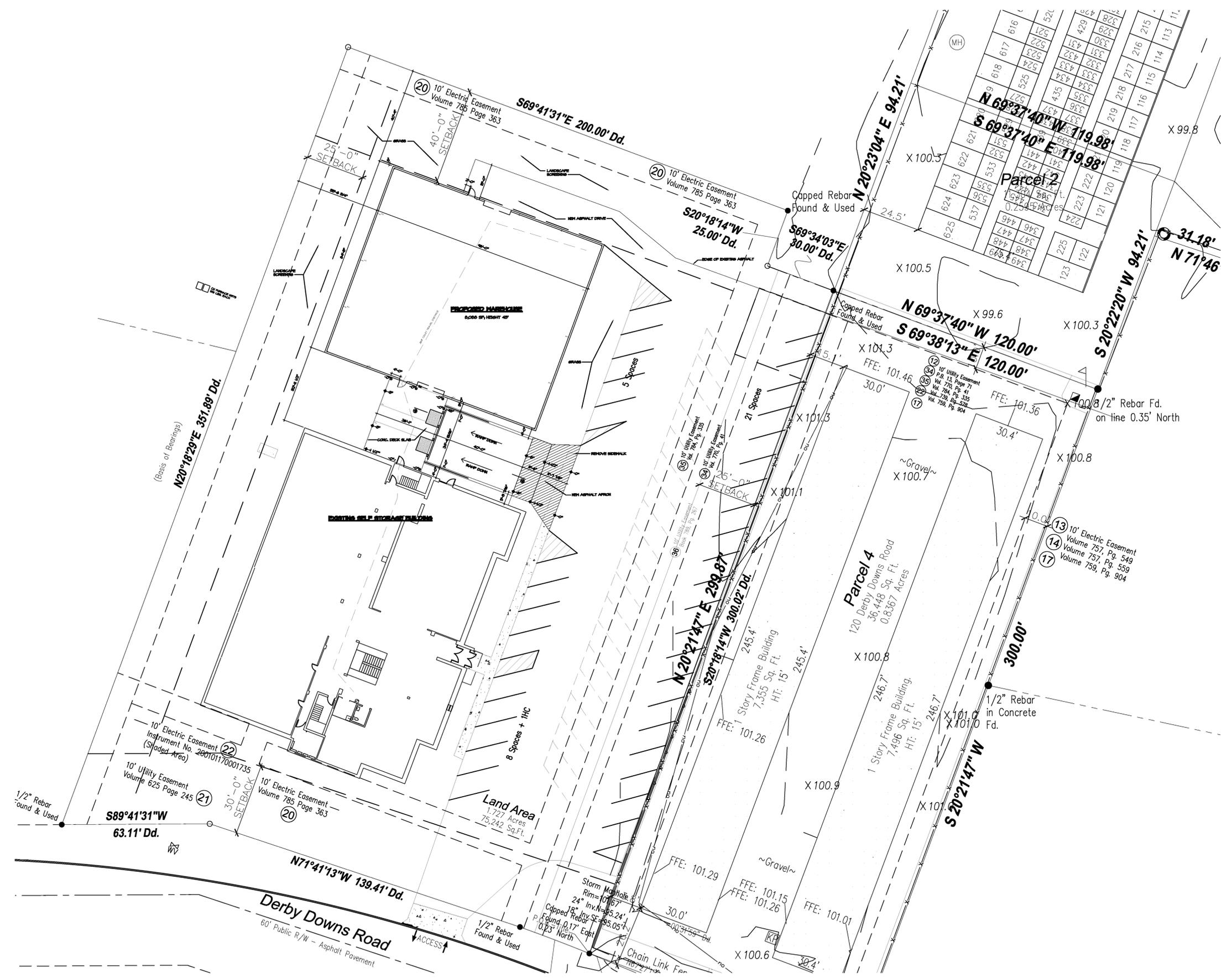
Sheet Title

**SITE PLAN**

Sheet Number

**A2a**

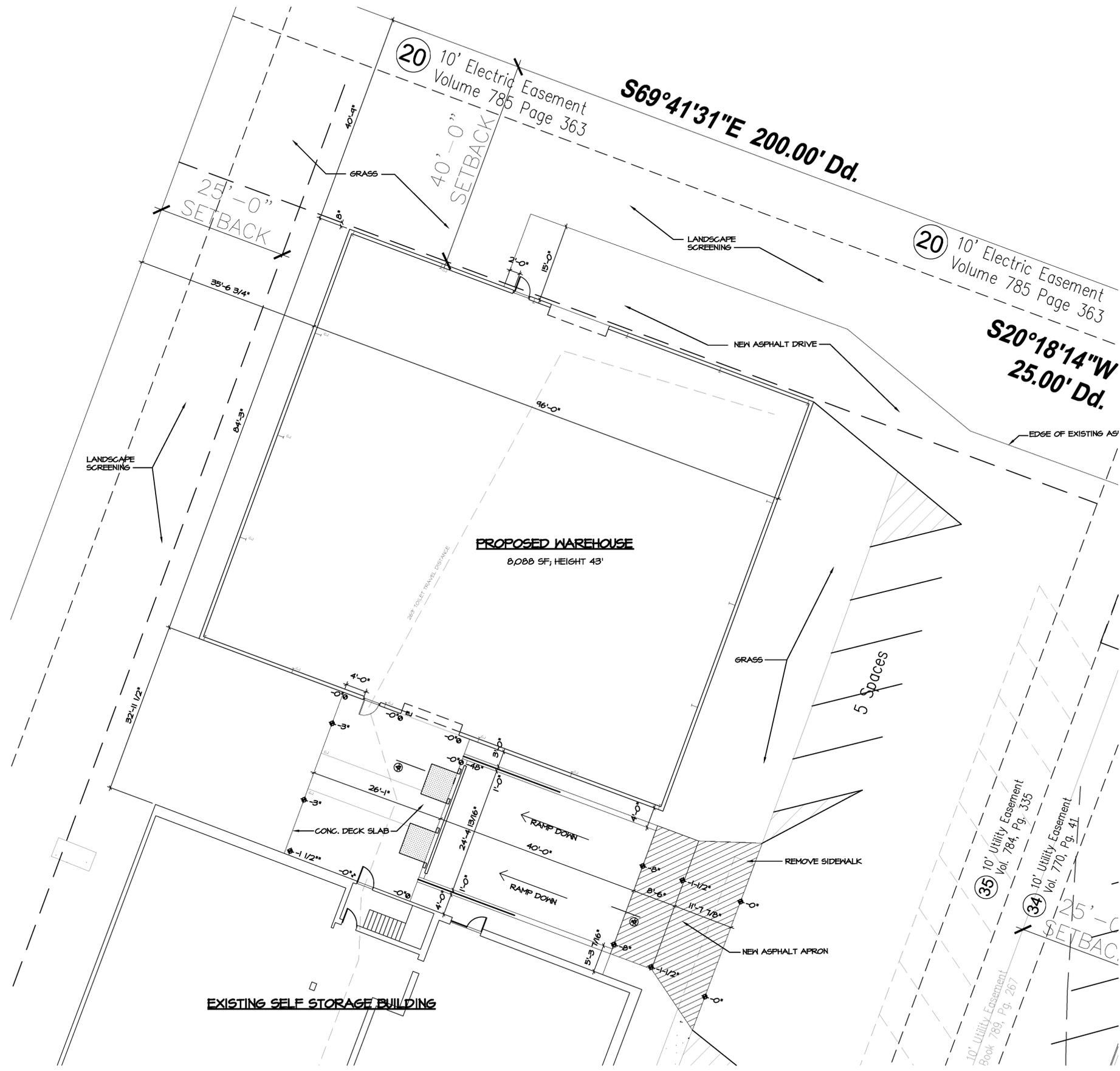
2a of #



**SITE PLAN**  
1" = 20'

**GENERAL CONDITIONS**

1. AIA Document A201, General Conditions of the Contract for Construction, 2007 Edition, shall be considered the general requirements for the execution of the Work as if bound herein in its entirety. A copy of this document is available in the office of the Architect.
2. All work shall be in accordance with the 2017 Ohio Building Code and August 2018 amendments. The Contractor shall resolve all conflicts before proceeding with the Work.
3. The term Contractor as used herein shall include the General Contractor, all prime Contractors, all Sub-Contractors and all material suppliers as required for the full and complete execution of the Work.
4. All Work shall be performed with standard construction practices. If in the opinion of the Contractor, conditions exist which do not follow such practices or where insufficient information is given or is ambiguous, it shall be the responsibility of the Contractor to inform the Architect prior to beginning such Work or to assume sole responsibility for satisfactory results.
5. The Work shall be complete in every respect. If in the opinion of the Contractor a complete job may not result, he shall immediately notify the Architect and the Owner prior to beginning such Work or shall assume sole responsibility for the completeness of the Work.
6. The Contractor shall guarantee the Work for one year from the date of substantial completion as determined by the Architect.
7. The Contractor shall, prior to final completion, remove all construction debris from both interior and exterior and shall leave the workplace broom clean.
8. Contractors shall visit the site and make themselves acquainted with the conditions of the Work and the nature of existing work that is to be matched or replicated in the new work. Failure to familiarize oneself with the site conditions shall not relieve the Contractor from executing and completing the Work as intended by the drawings nor shall be grounds for approving change orders to the Work.
9. The Contractor shall present to the Owner a copy of his Certificates of Insurance and Workers Compensation prior to the execution of the work.
10. The Contractor shall meet the latest requirements of the United States Department of Labor Occupational Safety and Health Standards and shall protect all persons near or on the premises from unreasonable risks of injury.
11. The Architect's observation of the work for compliance with the plans and specifications shall not be deemed supervision or control of construction means or methods employed by the Contractor or any Subcontractor.
12. The Contractor is responsible for supervision, safety, and administration of all phases of the contract.
13. The Contractor shall coordinate with the Owner all work to be performed by the Owner and the schedules necessary in performing such work.
14. The Contractor shall be responsible for scheduling, coordination, management and administration of subcontracts for all trades and shall be responsible for their timely completion.
15. If any part of the Contractor's Work depends upon the proper execution or results from the work of others, the Contractor shall prior to proceeding with the Work, promptly report to the Architect any apparent discrepancies or defects in such other work that render it unsuitable for such proper execution and results. Failure of the Contractor to so report shall constitute an acceptance of the other work as fit and proper to receive the Work, except as to defects that may subsequently become apparent in such work by others.
16. Unless otherwise provided, payments to the Contractor shall be on a periodic basis as agreed upon by the Owner and Contractor, based on written Requests for Payment for labor and materials completed and/or stored, submitted to the Architect for approval, along with a signed release of liens from each contractor, subcontractor and material suppliers associated with the project. Final payment shall be made upon approval of the completed Work by the Owner and Architect and upon submission to the Architect of a final signed release of liens from each contractor, subcontractor, sub-subcontractor and material suppliers associated with the Project for the completed work.
17. All materials, equipment, shapes, styles, finishes, and colors must be approved by the Architect and Owner prior to their inclusion into the Work.
18. Materials not approved may be subject to removal and replacement. All specified materials shall be incorporated into the Work. The Contractor may submit substitutions for specified materials to the Architect for approval prior to the submission of bids. Only approved substitutions shall be incorporated into the work. All unapproved substitutions shall be rejected.
19. Do not scale the drawings.
20. Repair, patch and finish all existing construction for a smooth finish with new construction to match.
21. Provide all necessary interior and exterior demolition work as required assuring watertight, dust-proof and secure conditions throughout the existing facility. Remove all debris from site. Take care not to disturb materials to repair or replace existing condition as required. Cap or remove all electrical and plumbing lines at locations where fixtures are removed.
22. Protect all existing underground utilities during construction from damage or disruption of service.
23. Provide all necessary anchors, fasteners and ties as required to fully secure all materials whether shown or not. Only common nails shall be permitted for wood framing. Sinkers and roofing nails for wood framing shall not be permitted. Metal framing hangers and connectors (similar to Simpson Strongtie) when used in conjunction with treated lumber shall be post-hot-dipped galvanized or stainless steel.
24. Provide where shown on the drawings miscellaneous and ornamental metals fabricated with materials of size, thickness, and type required producing reasonable strength and durability. All materials shall comply with pertinent ASTM Standards. Fabricate with accurate angles and surfaces which are true to the required lines and levels, grinding exposed welds smooth and flush, forming exposed connections with hairline joints, and using concealed fasteners whenever possible. Properly clean all surfaces and shop-prime.
25. Install all materials and equipment in strict accordance with the manufacturers' printed instructions.



**AREA OF WORK SITE PLAN**

1" = 10'



This Document is Official Only If Embossed or Sealed in Red and Signed in Blue Ink

David C. Hughes, License No. 5794  
Expiration Date December 31, 2021

Issue Date **NOVEMBER 22, 2021**

Revision Date \_\_\_\_\_ Mark \_\_\_\_\_

General Notes

NOT FOR CONSTRUCTION



**DCH ARCHITECTS, LLC**

4625 Tremont Club Drive  
Hilliard, Ohio 43026  
614.296.7732

dcharchitect@sbcglobal.net

**928070**

Project 22104



NEW WAREHOUSE BUILDING  
U-HAUL INTERNATIONAL  
140 DERBY DOWNS ROAD  
NEWARK, OHIO 43055

Sheet Title

**GENERAL CONDITIONS  
AREA OF WORK  
SITE PLAN**

Sheet Number

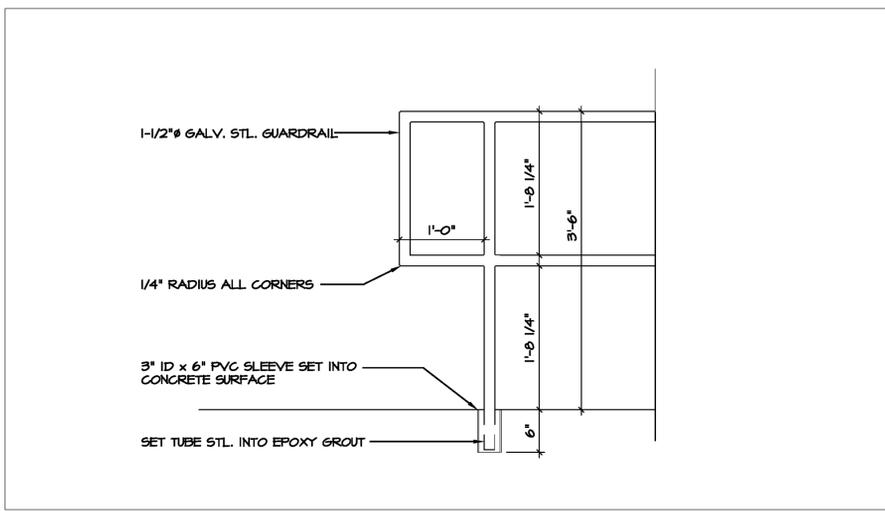
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2 of #

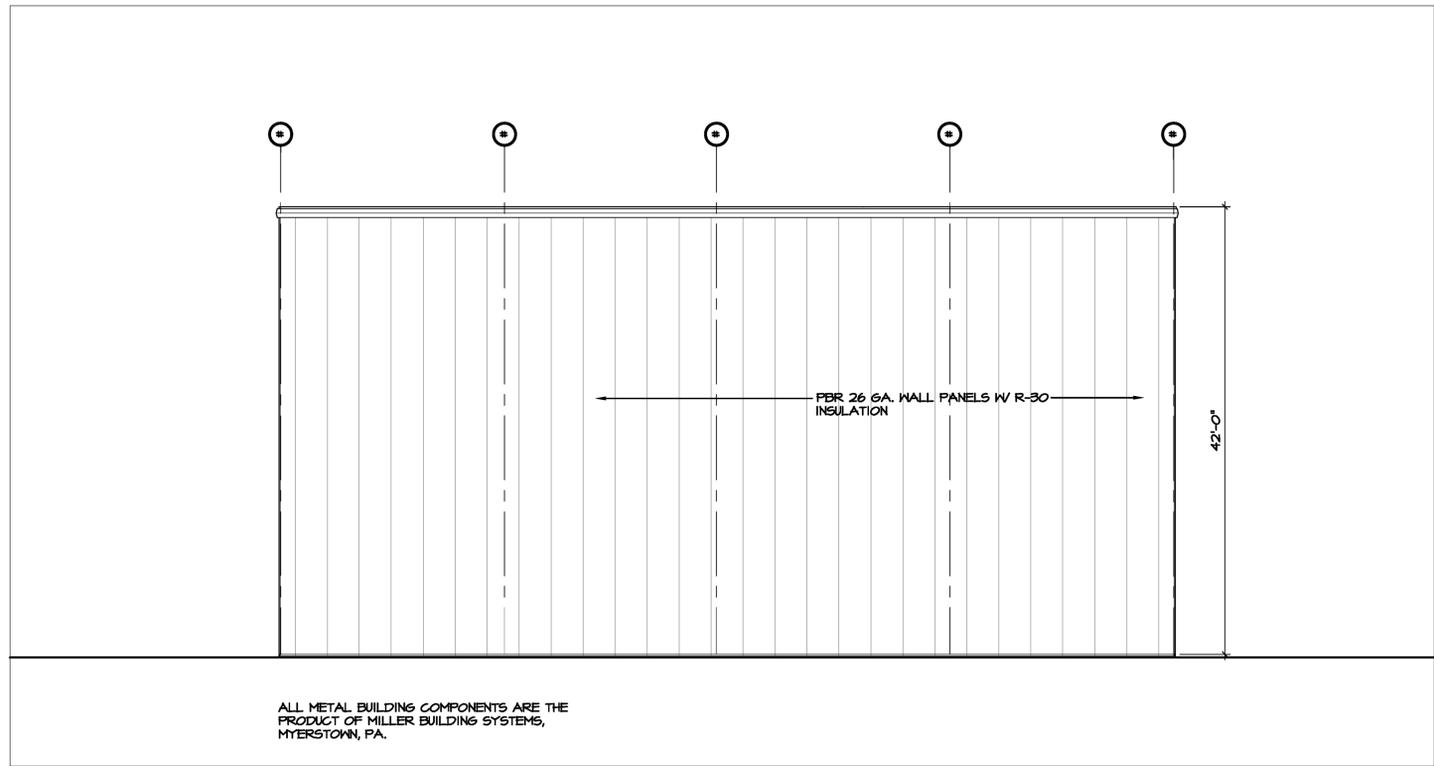
Issue Date	DATE
Revision Date	Mark

General Notes

NOT FOR CONSTRUCTION

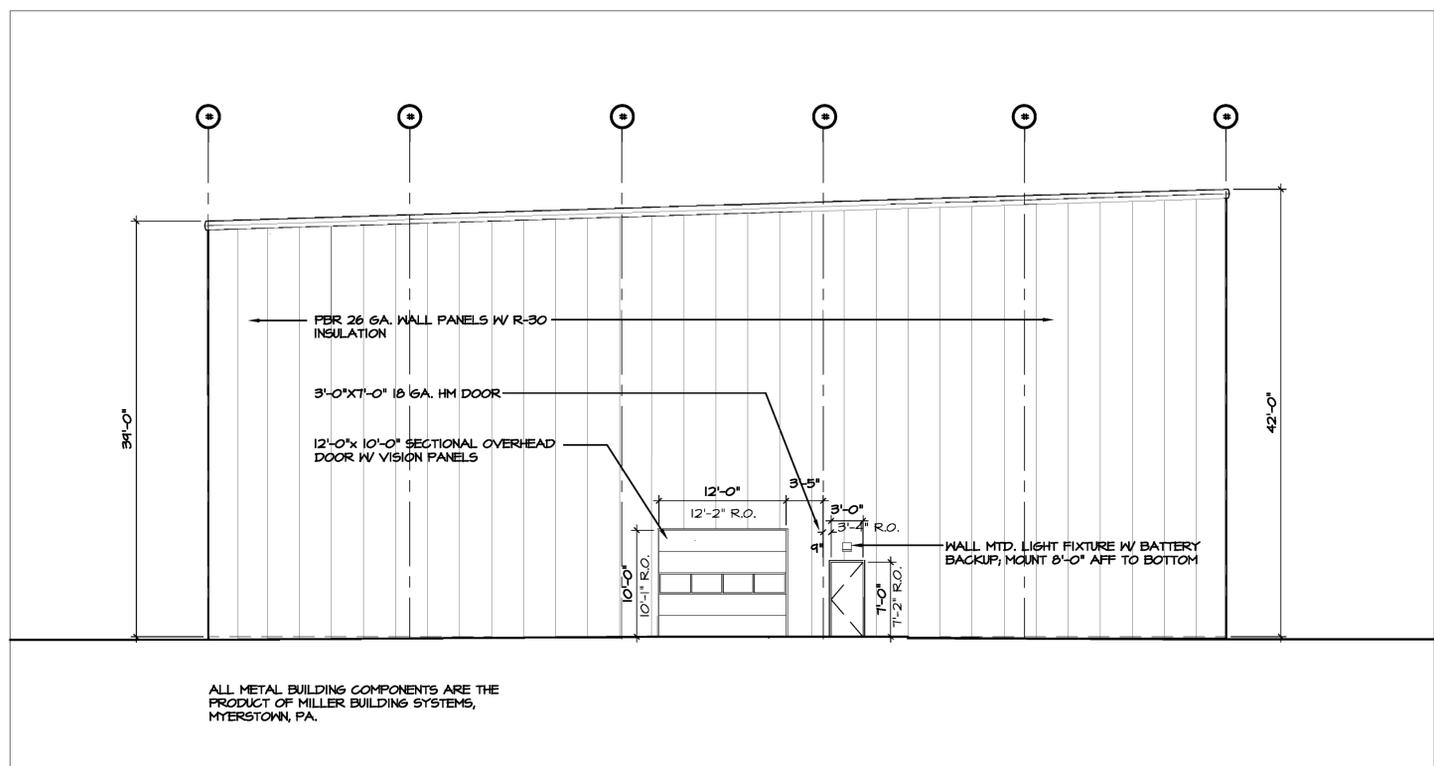


**GUARDRAIL DETAIL**  
1/8" = 1'-0"



ALL METAL BUILDING COMPONENTS ARE THE PRODUCT OF MILLER BUILDING SYSTEMS, MYERSTOWN, PA.

**WEST ELEVATION**  
1/8" = 1'-0"



ALL METAL BUILDING COMPONENTS ARE THE PRODUCT OF MILLER BUILDING SYSTEMS, MYERSTOWN, PA.

**NORTH ELEVATION**  
1/8" = 1'-0"



**DCH ARCHITECTS, LLC**

4625 Tremont Club Drive  
Hilliard, Ohio 43026  
614.296.7732

dcharchitect@sbcglobal.net

**928070**

Project 22104



NEW WAREHOUSE BUILDING  
U-HAUL INTERNATIONAL  
140 DERBY DOWNS ROAD  
NEWARK, OHIO 43055

Sheet Title

**ELEVATIONS**

Sheet Number

A5

Issue Date	DATE
Revision Date	Mark

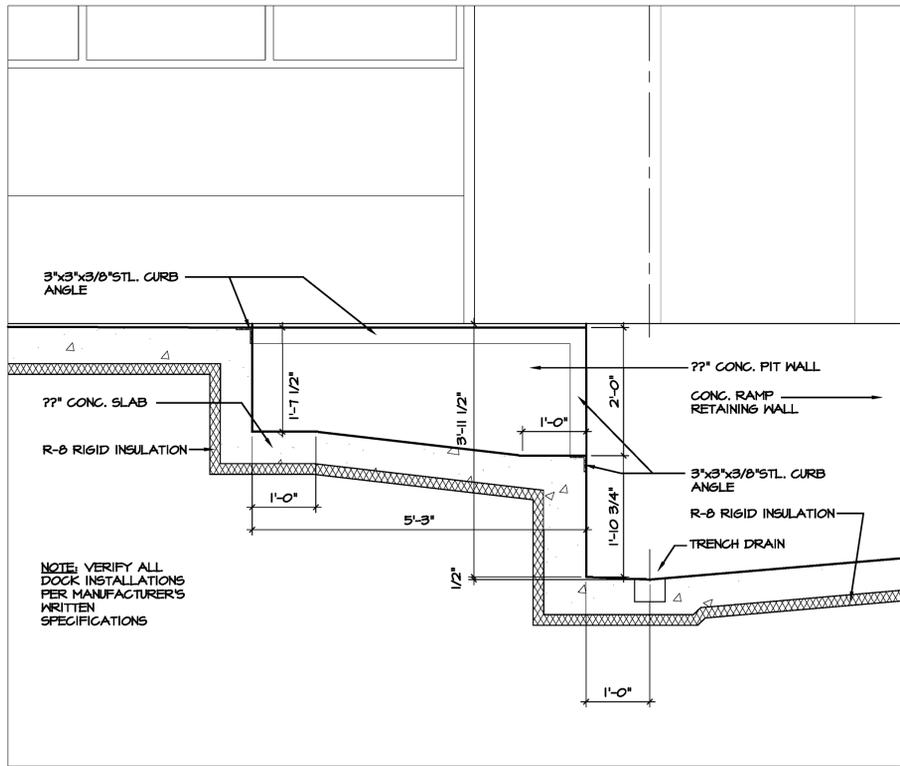
General Notes

NOT FOR CONSTRUCTION

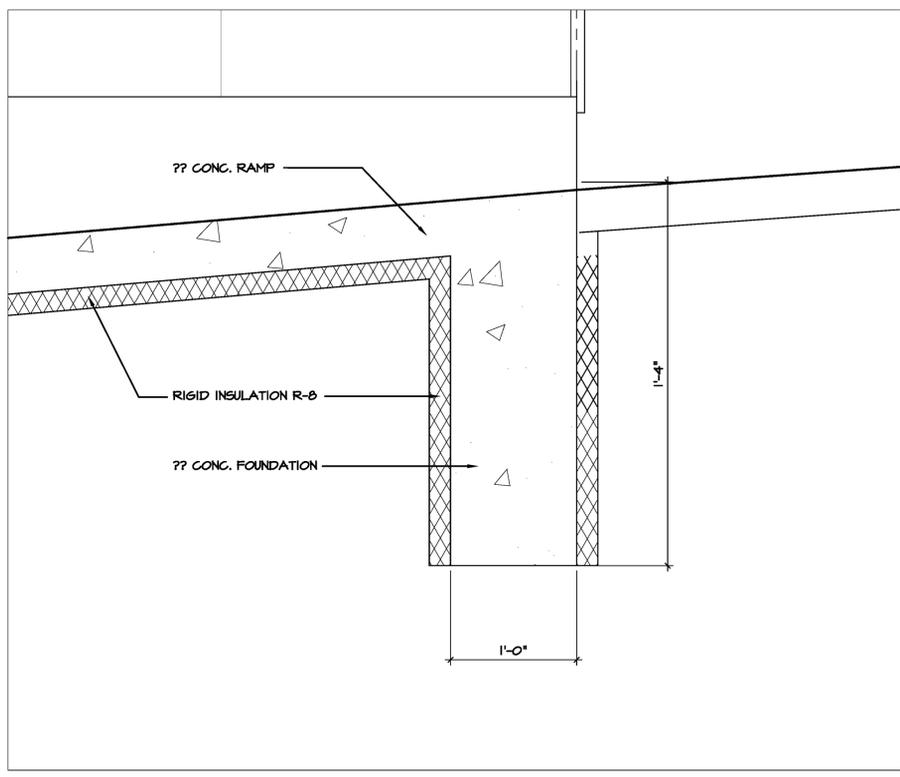
**DCH**  
**DCH ARCHITECTS, LLC**  
 4625 Tremont Club Drive  
 Hilliard, Ohio 43026  
 614.296.7732  
 dcharchitect@sbcglobal.net

**928070**  
 Project 22104  
  
 NEW WAREHOUSE BUILDING  
 U-HAUL INTERNATIONAL  
 140 DERBY DOWNS ROAD  
 NEWARK, OHIO 43055

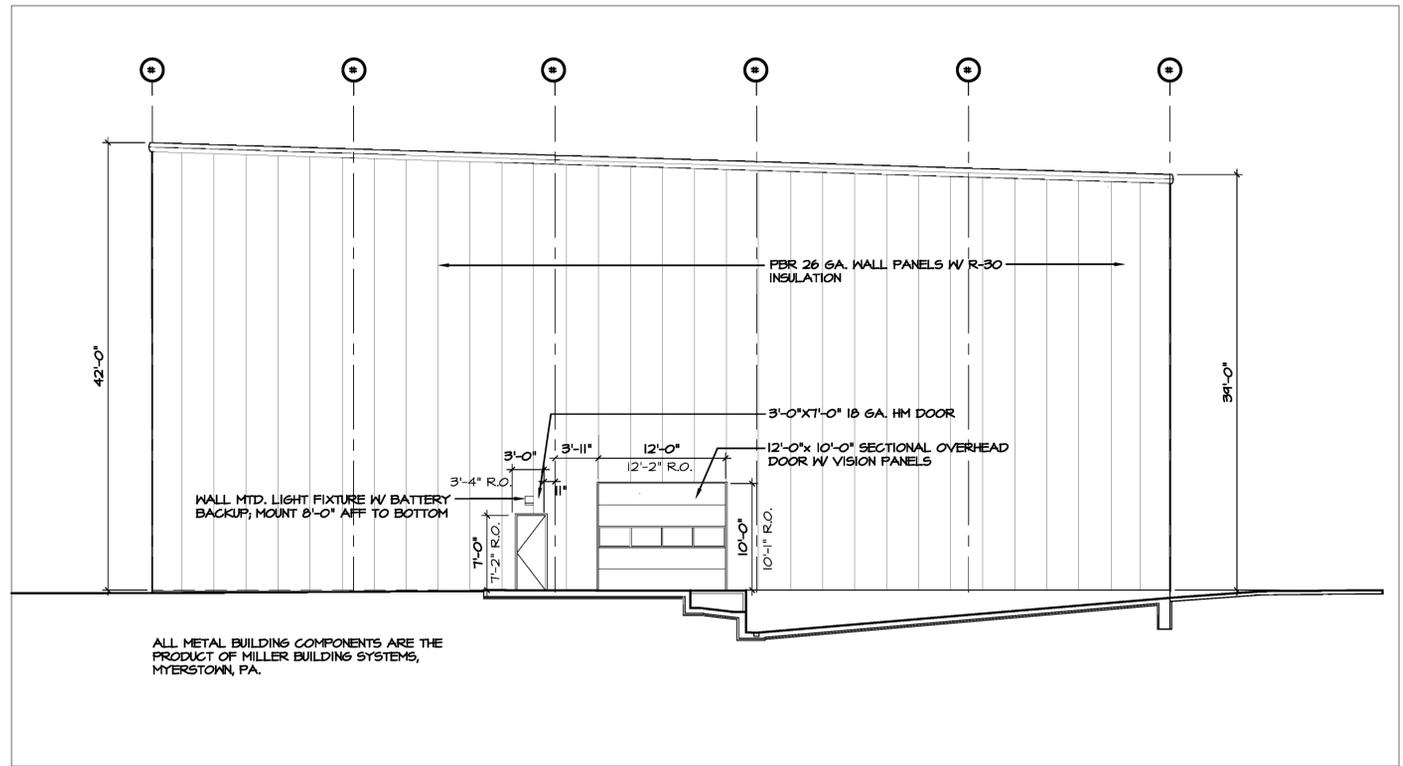
Sheet Title  
**ELEVATIONS**  
 Sheet Number



**SECTION @ RAMP**  
 3/4" = 1'-0"

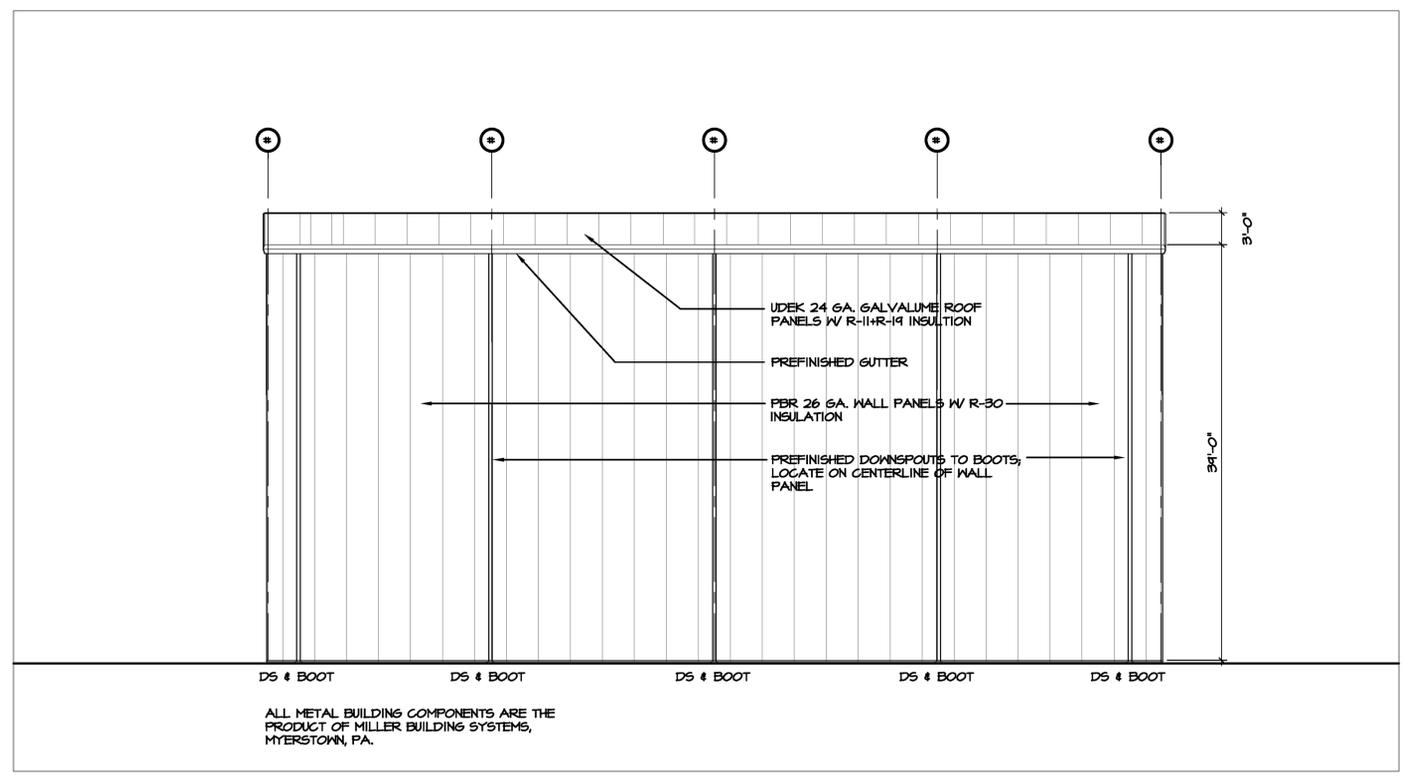


**SECTION @ RAMP**  
 3/4" = 1'-0"



ALL METAL BUILDING COMPONENTS ARE THE PRODUCT OF MILLER BUILDING SYSTEMS, MYERSTOWN, PA.

**SOUTH ELEVATION**  
 1/8" = 1'-0"



ALL METAL BUILDING COMPONENTS ARE THE PRODUCT OF MILLER BUILDING SYSTEMS, MYERSTOWN, PA.

**EAST ELEVATION**  
 1/8" = 1'-0"



**CITY OF NEWARK  
PLANNING COMMISSION STAFF REPORT**

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**JANUARY 11, 2022 PLANNING COMMISSION MEETING**

**Application:**

1. ***PC-21-61, FILE 21-561: SITE PLAN FOR THE LP - NEW APARTMENT DEVELOPMENT AT LOG POND DRIVE, SOUTH OF WALMART***

**Staff Report & Recommendations:**

**Overview:**

The applicant intends to build a 72-unit multi-family apartment (18 – 1 bedroom units, 36 – 2 bedroom units, 18 – 3 bedroom units) development at the west end of Log Pond Drive.

The Site Plan Review Committee submitted comments on 1/6/2022 regarding this application. Reviewers included:

- Mark Mauter, Development Director
- Pat Connor, Fire Chief
- Bruce Gossett, Aaron Holman - NFD
- Craig Riley, Deputy Police Chief
- Roger Loomis, Utilities Superintendent
- Adam Bernard, Utilities Engineer
- Lindsey Brighton, Stormwater Utility
- Nick Shultz, Street and Traffic Engineer
- Don Hiltner, Senior Engineer
- Brian Morehead, City Engineer
- George Carter, Zoning Inspector

**A. Zoning District:**

This site is zoned Multi Family Residential District (MFR); the proposed use is a permitted use. A future second phase of the development would require a zoning change to be permitted.

**Flood Zones:**

A small portion of the parcel is in the 100-year Flood Plain area. This development will be required to meet the regulations of the Flood Insurance Ordinance of the City. A flood plain permit will need to be issued for this site.

**B. Safety Division Review:**

The Police Department have expressed no concerns, and Fire Division reviews will be presented at the PC meeting.

**C. Height Restrictions:**

The proposed buildings shown on the elevation drawings are three story and the proposed 36.5' heights meet the requirements in this district.

**D. Lot Area & Setbacks:**

Parcel is approximately 423,700 S.F. +/-, with 7.6% building coverage, which meets the lot area requirements. The frontage requirement is a minimum of



## CITY OF NEWARK PLANNING COMMISSION STAFF REPORT

---

- 75', and this property frontage is 50', created by the previously approved lot splits. The proposed Building 3 and Garage 1 are less than 25 feet from the property line which does not meet the front setback requirements, so this construction would require a variance approval from the Board of Zoning Appeals.
- E. Off-Street Parking & Loading:  
Code requires 189 parking spaces, and 151 spaces are proposed, which does not meet the requirements, so this construction would require a variance approval from the Board of Zoning Appeals.
- F. Corner Lots:  
No structures are proposed at this time in the lot corner area.
- G. Landscaping, Buffering & Greenspace:  
The landscaping requirement consists of 13,500 +/- SF of green space (Lawn) and greater than 3,375 SF of the green space area shall be ground cover (planting areas) as required by the Zoning Code. In addition, 21 trees are required on the site. A landscaping plan has been submitted for review, and it appears to meet the requirements.
- H. Public & Private Roadways – Access Management:  
All of the proposed streets and driveways are privately owned and maintained by the development. The new private driveway into the development from Log Pond Drive is shown 24' wide. The private driveway is proposed to serve these structures, which will be need to be included in an access easement as it will also serve other future development. **Additionally, we are awaiting the Fire Dept's comments, and will discuss at the meeting.**
- I. Site Signage:  
No development sign locations are shown on the site plan. Any development sign shall be submitted and will be reviewed separately.
- J. Traffic Control / Street / Right-of-Way Issues:  
Signage is needed to be installed to prohibit on-street parking, in order to provide clear access for emergency vehicles, fire lanes, etc.
- K. Engineering / Utilities:  
Engineering and Water staff will be reviewing the detailed water, sanitary and stormwater management plans; these have not yet been submitted. Water and sanitary sewer are both available in the adjacent Log Pond Plaza development due to a recent easement that was recorded. Water meter configuration will need to be discussed in order to determine the water and sewer capacity and tapping fees. Are the proposed water and sewer mains proposed to be public or private? Engineering will follow up for review of the construction plans and compliance prior to construction.



## CITY OF NEWARK PLANNING COMMISSION STAFF REPORT

---

There has been no stormwater management plan submitted, and this should be submitted and reviewed prior to zoning approval.

The existing stormwater basin is generally designed to allow water to evaporate or discharge into the permeable layers below ground; is there a plan to maintain the property if there is no or little water in the pond?

L. Other Standards/Regulations

A pedestrian path is shown to be constructed around the existing stormwater management basin. An additional path from the area near Garage 1 leading to Walmart's front entrance point is recommended.

The City should be provided with copies of the easements for access, utilities and stormwater use of the basin; there are several adjacent properties that use / will use these facilities, so the City needs to have a clear understanding of those rights and maintenance responsibilities.

**Recommendations:**

A recommendation will be provided at the meeting, pending the comments of the Fire Division.

This proposal meets all of the technical requirements. On that basis, staff recommends conditional approval of the Site Plan for The LP Apartments multi-family development in order to grant Zoning approval of the site, provided the following issues are addressed:

1. Fire Department comments on traffic access design are addressed.
2. BZA variance approval for parking space count and front setbacks.
3. Any of the remaining issues listed above will be addressed on the final construction plans. Compliance with City's Stormwater Management requirements.

If approved by Planning Commission, the zoning certificate will not be granted until the above conditions are resolved / met.

**Planning Commission Action on Recommendation:**

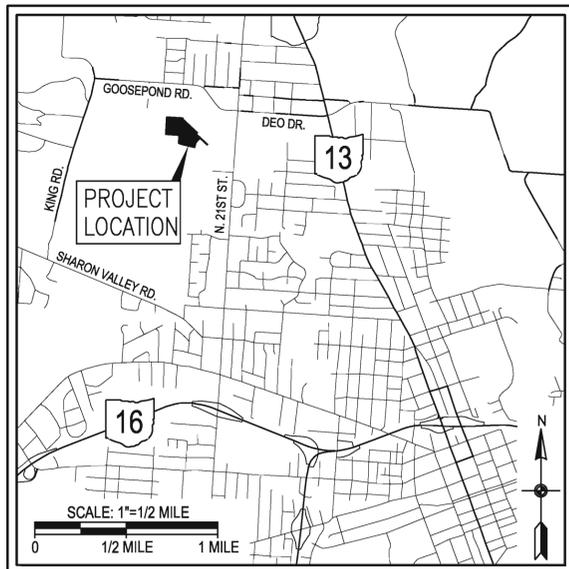
- Approved As Submitted
- Approved As Noted, With Contingencies
- Denied

---

Planning Director \_\_\_\_\_ Date \_\_\_\_\_

# THE LP SITE COMPLIANCE PLANS

SITUATED IN THE CITY OF NEWARK,  
LICKING COUNTY, OHIO



## PROJECT DESCRIPTION

### PROJECT DATA

TOTAL AREA:	9.727 ACRES
PROJECT EARTH DISTURB AREA:	4.298 ACRES
ESTIMATED CONTRACTOR (OUTSIDE PROJECT) EARTH DISTURBED AREA:	0.258 ACRES
NOTICE OF INTENT EARTH DISTURBED AREA:	4.556 ACRES
IMPERVIOUS AREA FOR PRE-CONSTRUCTION SITE:	0.054 ACRES
IMPERVIOUS AREA FOR POST-CONSTRUCTION SITE:	2.689 ACRES
RECEIVING WATERS:	LOG POND RUN

### 100 YEAR DETENTION TABLE

DESCRIPTION	VOLUME REQUIRED (C.F.)	ELEVATION REQUIRED	VOLUME PROVIDED (C.F.)	ELEV. FOR PROVIDED VOLUME
EX. DETENTION BASIN	1,049,377	864.09	1,905,030	869.00

### INDEX OF SHEETS

TITLE SHEET	1
SITE PLAN	2
LANDSCAPING PLAN	3
ALTA SURVEY	(BY OTHERS)



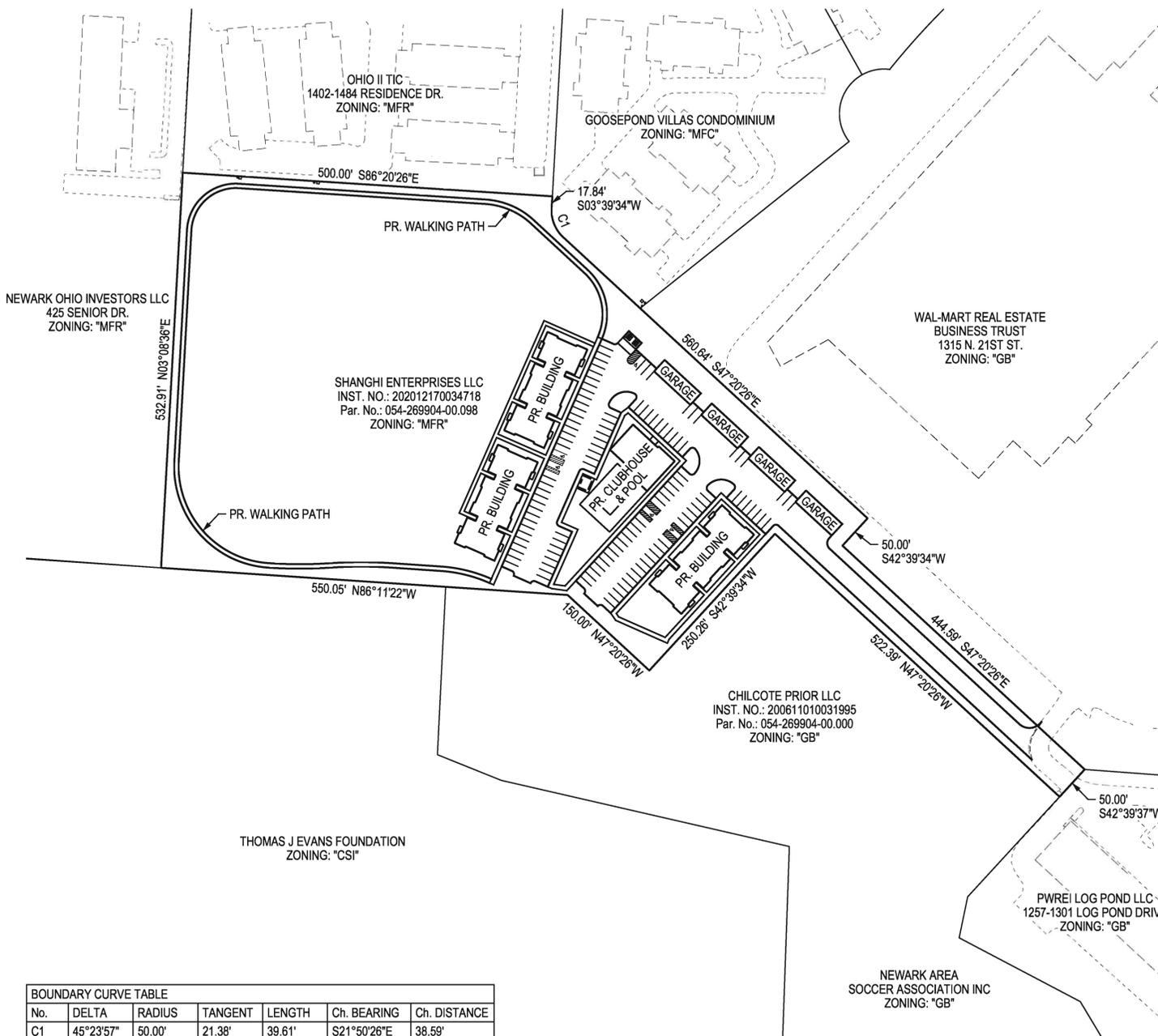
SIGNATURES BELOW SIGNIFY ONLY CONCURRENCE WITH THE GENERAL PURPOSES AND GENERAL LOCATION OF THE PROJECT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE ENGINEER PREPARING THE PLAN.

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

CITY SERVICE DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

CITY UTILITIES SUPERINTENDENT \_\_\_\_\_ DATE \_\_\_\_\_

CITY STORMWATER COORDINATOR \_\_\_\_\_ DATE \_\_\_\_\_



No.	DELTA	RADIUS	TANGENT	LENGTH	Ch. BEARING	Ch. DISTANCE
C1	45°23'57"	50.00'	21.38'	39.61'	S21°50'26"E	38.59'

### SITE INFORMATION:

ADDRESS: N. 25TH STREET  
AUDITORS PAR. NO.: 054-269904-00.098  
PROPOSED SITE AREA: 9.727 Ac.  
PROPOSED BUILDING AREA: 32,135 SQ. FT.  
PROPOSED DENSITY: 3,304 SQ. FT./Ac.

### ZONING INFORMATION:

EXISTING ZONING: MFR - MULTI-FAMILY RESIDENTIAL  
EXISTING USE: VACANT LOT  
PROPOSED ZONING: MFR - MULTI-FAMILY RESIDENTIAL  
PROPOSED USE: MULTI-FAMILY APARTMENTS  
BUILDING SETBACKS: 25' FRONT  
20' SIDE (3 STORIES)  
45' REAR  
PARKING REQUIRED: 189 TOTAL  
2 SPACES PER UNIT (ONE BEDROOM) x 18 UNITS  
2.5 SPACES PER UNIT (TWO BEDROOM) x 36 UNITS  
3.5 SPACES PER UNIT (THREE BEDROOM) x 18 UNITS  
PARKING PROVIDED: 151 TOTAL (2.1 SPACES PER UNIT)  
122 STANDARD SPACES  
24 GARAGE SPACES  
5 HANDICAP SPACES

### FLOOD INFORMATION:

A PORTION OF THE PROPERTY FALLS WITHIN THE LIMITS OF FLOOD ZONE "AE" AS SHOWN ON FIRM MAP No. 39089C0333J DATED MARCH 16, 2015.

### VARIANCE REQUESTED:

VARIANCE FROM SECTION 125.2, PARKING SPACES REQUIRED (2 SPACES PER ONE BEDROOM UNIT, 2.5 SPACES PER TWO BEDROOM UNIT, 3.5 SPACES PER THREE BEDROOM UNIT). PROPOSED DEVELOPMENT WOULD PROVIDE A MINIMUM OF 2 SPACES PER UNIT REGARDLESS OF BEDROOMS.



Newark Office:  
88 West Church Street  
Newark, OH 43055  
(740) 345-1921 (ph)  
(740) 345-4994 (fax)  
www.adrinnovation.com

**OWNER/DEVELOPER**  
JOHN ROUSH  
EXPRESS WASH CONCEPTS  
13375 NATIONAL ROAD SW, SUITE D  
REYNOLDSBURG, OH 43068  
(614) 751-9274  
john@expresswashconcepts.com

**ARCHITECT**  
JON STEPHENS, AIA  
SULLIVAN BRUCK ARCHITECTS  
8 S. GRANT AVENUE  
COLUMBUS, OH 43215  
(614) 464-9800  
jons@sbrarch.com

BRIAN C. KLINGENBERG, P.E. \_\_\_\_\_ DATE \_\_\_\_\_  
OHIO PROFESSIONAL ENGINEER #82904



REVISIONS	DATE	DESCRIPTION

SITE COMPLIANCE PLAN  
TITLE SHEET

THE LP  
CITY OF NEWARK, OHIO

DEC. 15, 2021  
JOB #21-103

1  
3

# SITE PLAN



0 40 80  
HORIZONTAL  
SCALE IN FEET

DRAWN  
BY  
CHECKED  
RBB  
REVIEWED



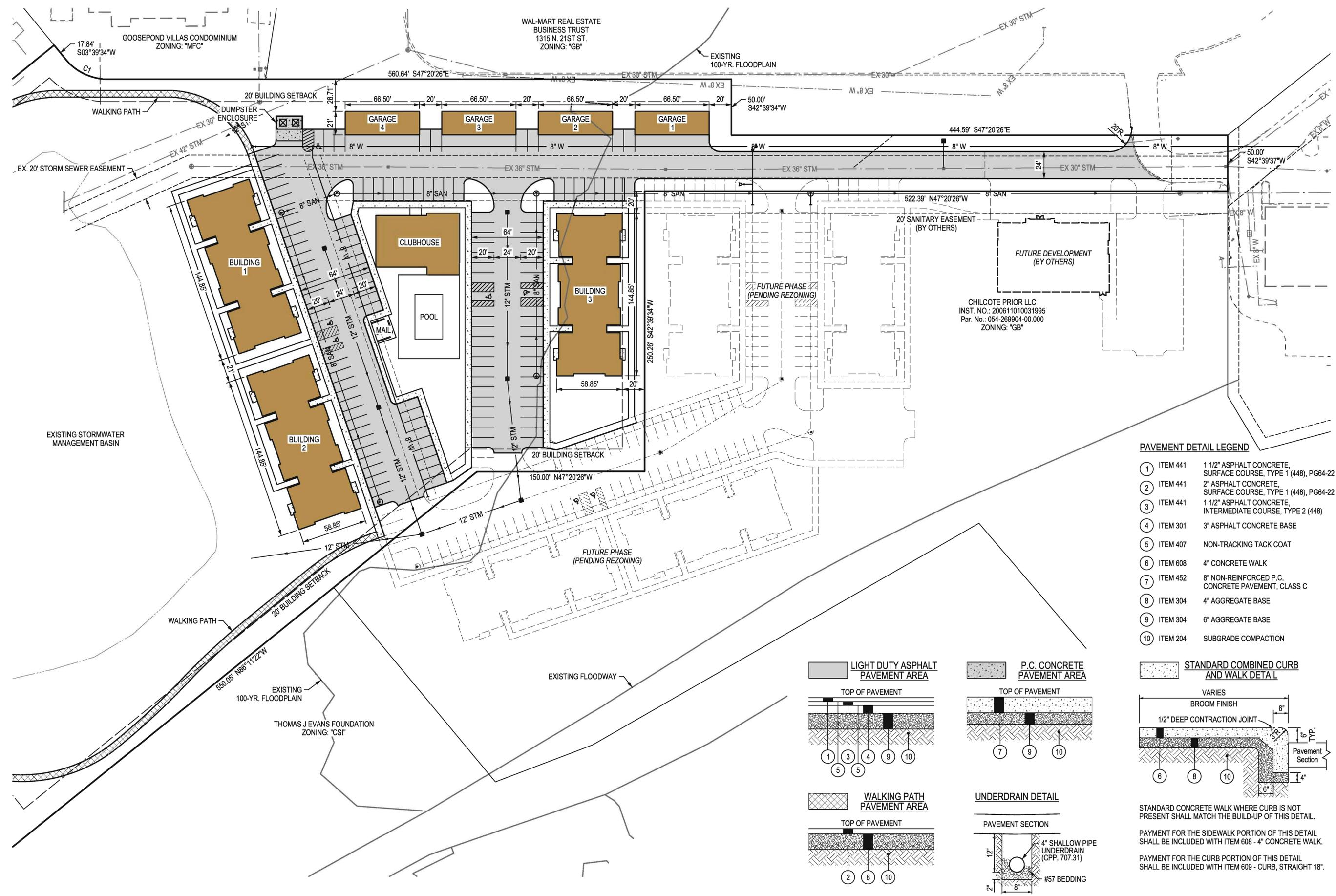
REVISIONS

SITE COMPLIANCE PLAN  
SITE PLAN

THE LP  
CITY OF NEWARK, OHIO

DEC. 15, 2021  
JOB #21-103

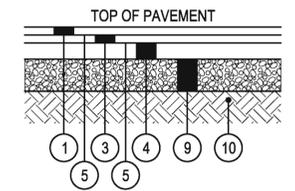
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3



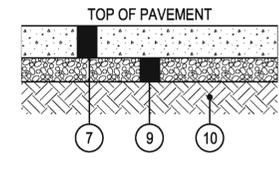
**PAVEMENT DETAIL LEGEND**

1	ITEM 441	1 1/2" ASPHALT CONCRETE, SURFACE COURSE, TYPE 1 (448), PG64-22
2	ITEM 441	2" ASPHALT CONCRETE, SURFACE COURSE, TYPE 1 (448), PG64-22
3	ITEM 441	1 1/2" ASPHALT CONCRETE, INTERMEDIATE COURSE, TYPE 2 (448)
4	ITEM 301	3" ASPHALT CONCRETE BASE
5	ITEM 407	NON-TRACKING TACK COAT
6	ITEM 608	4" CONCRETE WALK
7	ITEM 452	8" NON-REINFORCED P.C. CONCRETE PAVEMENT, CLASS C
8	ITEM 304	4" AGGREGATE BASE
9	ITEM 304	6" AGGREGATE BASE
10	ITEM 204	SUBGRADE COMPACTION

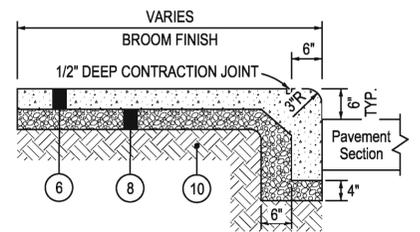
**LIGHT DUTY ASPHALT PAVEMENT AREA**



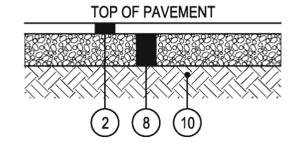
**P.C. CONCRETE PAVEMENT AREA**



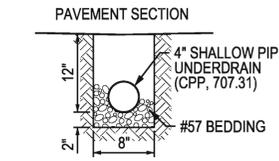
**STANDARD COMBINED CURB AND WALK DETAIL**



**WALKING PATH PAVEMENT AREA**



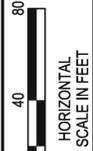
**UNDERDRAIN DETAIL**



STANDARD CONCRETE WALK WHERE CURB IS NOT PRESENT SHALL MATCH THE BUILD-UP OF THIS DETAIL.  
PAYMENT FOR THE SIDEWALK PORTION OF THIS DETAIL SHALL BE INCLUDED WITH ITEM 608 - 4" CONCRETE WALK.  
PAYMENT FOR THE CURB PORTION OF THIS DETAIL SHALL BE INCLUDED WITH ITEM 609 - CURB, STRAIGHT 18".

PRINTED: 12/15/2021 8:49:13 AM P:\AD\2021\121-103 Log Pond Apartment.dgn\Site Compliance Plans\02\_Site.dgn

# LANDSCAPING PLAN



DRAWN  
B.W.

CHECKED  
R.B.B.

REVIEWED



88 West Church Street, Newark, OH 43055 - (740) 344-1921

REVISIONS

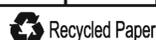
NO.	DATE	DESCRIPTION
1		
2		
3		

SITE COMPLIANCE PLAN  
LANDSCAPING PLAN

THE LP  
CITY OF NEWARK, OHIO

DEC. 15, 2021  
JOB #21-103

3  
3

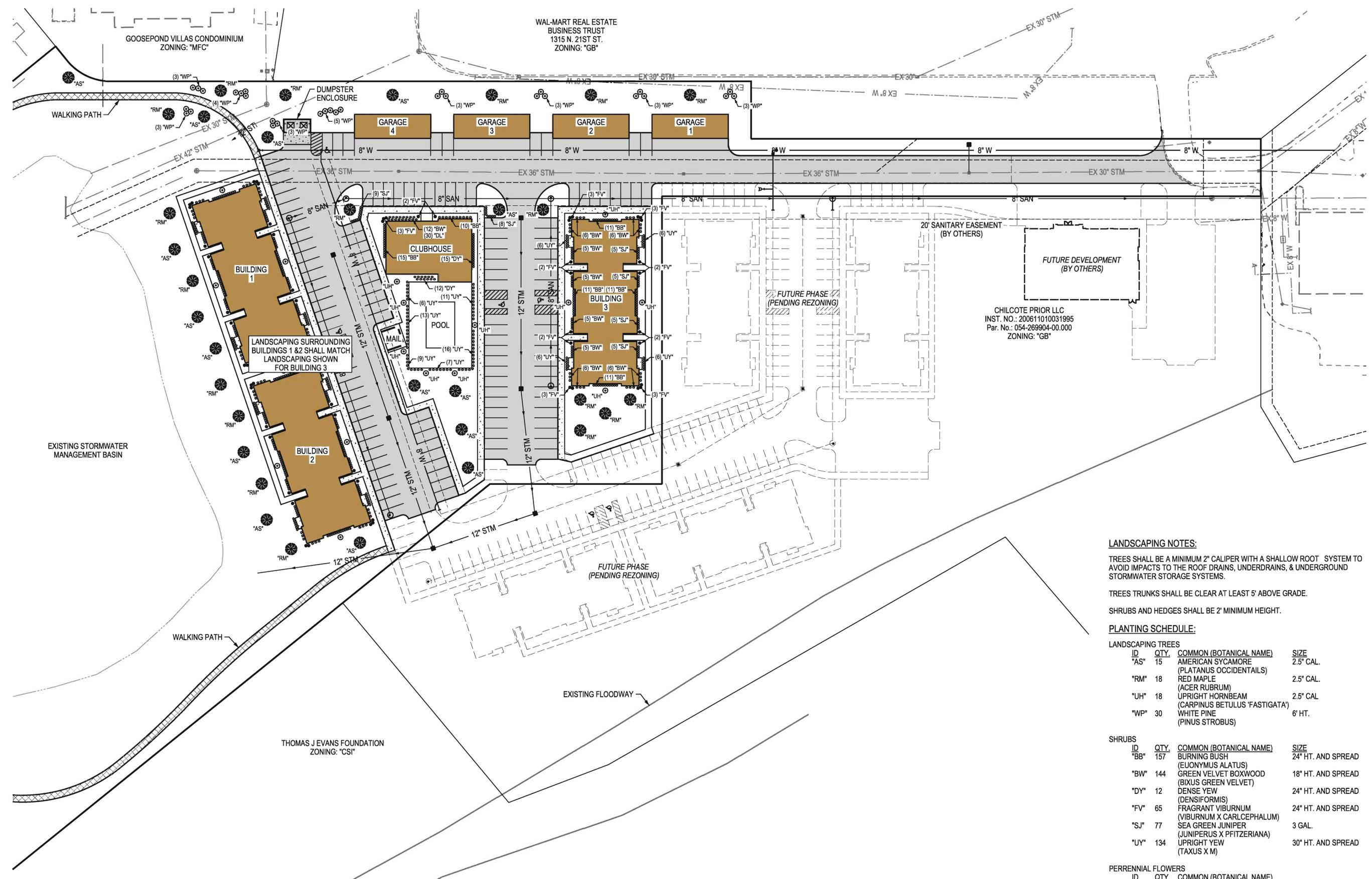


WAL-MART REAL ESTATE  
BUSINESS TRUST  
1315 N. 21ST ST.  
ZONING: "GB"

GOOSEPOND VILLAS CONDOMINIUM  
ZONING: "MFC"

THOMAS J EVANS FOUNDATION  
ZONING: "CSI"

CHILCOTE PRIOR LLC  
INST. NO.: 200611010031995  
Par. No.: 054-269904-00.000  
ZONING: "GB"



LANDSCAPING SURROUNDING  
BUILDINGS 1 & 2 SHALL MATCH  
LANDSCAPING SHOWN  
FOR BUILDING 3

**LANDSCAPING NOTES:**

TREES SHALL BE A MINIMUM 2" CALIPER WITH A SHALLOW ROOT SYSTEM TO AVOID IMPACTS TO THE ROOF DRAINS, UNDERDRAINS, & UNDERGROUND STORMWATER STORAGE SYSTEMS.

TREES TRUNKS SHALL BE CLEAR AT LEAST 5' ABOVE GRADE.

SHRUBS AND HEDGES SHALL BE 2' MINIMUM HEIGHT.

**PLANTING SCHEDULE:**

**LANDSCAPING TREES**

ID	QTY.	COMMON (BOTANICAL NAME)	SIZE
"AS"	15	AMERICAN SYCAMORE (PLATANUS OCCIDENTALIS)	2.5" CAL.
"RM"	18	RED MAPLE (ACER RUBRUM)	2.5" CAL.
"UH"	18	UPRIGHT HORNBEAM (CARPINUS BETULUS 'FASTIGATA')	2.5" CAL.
"WP"	30	WHITE PINE (PINUS STROBUS)	6' HT.

**SHRUBS**

ID	QTY.	COMMON (BOTANICAL NAME)	SIZE
"BB"	157	BURNING BUSH (EUONYMUS ALATUS)	24" HT. AND SPREAD
"BW"	144	GREEN VELVET BOXWOOD (BIXUS GREEN VELVET)	18" HT. AND SPREAD
"DY"	12	DENSE YEW (DENSIFORMIS)	24" HT. AND SPREAD
"FV"	65	FRAGRANT VIBURNUM (VIBURNUM X CARLCEPHALUM)	24" HT. AND SPREAD
"SJ"	77	SEA GREEN JUNIPER (JUNIPERUS X PFITZERIANA)	3 GAL.
"UY"	134	UPRIGHT YEW (TAXUS X M)	30" HT. AND SPREAD

**PERENNIAL FLOWERS**

ID	QTY.	COMMON (BOTANICAL NAME)
"DL"	45	STELLA DE ORA DAYLILY (HEMEROCALLIS)

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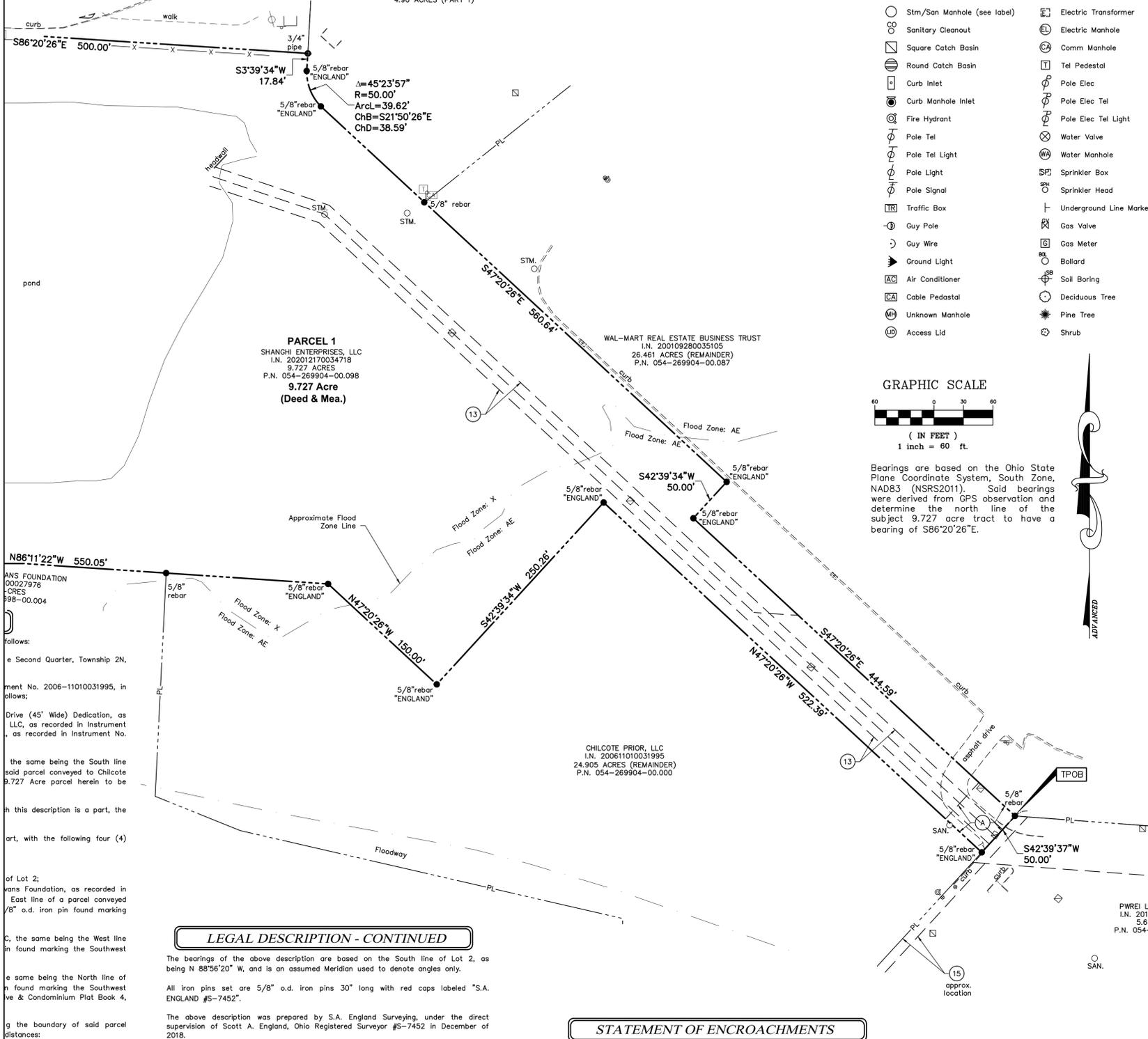
# ALTA / NSPS LAND TITLE SURVEY LOG POND

**9.727 ACRE (DEED & MEASURED)**

QUARTER TOWNSHIP 2, TOWNSHIP 2, RANGE 12  
UNITED STATES MILITARY DISTRICT  
CITY OF NEWARK, LICKING COUNTY, OHIO

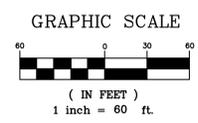
OHIO II TIC 11, LLC  
I.N. 200802140003454  
3.500 ACRES  
P.N. 054-269904-00.009

GOOSEPOUND VILLAS CONDOMINIUM  
I.N. 199810210040069  
4.90 ACRES (PART 1)

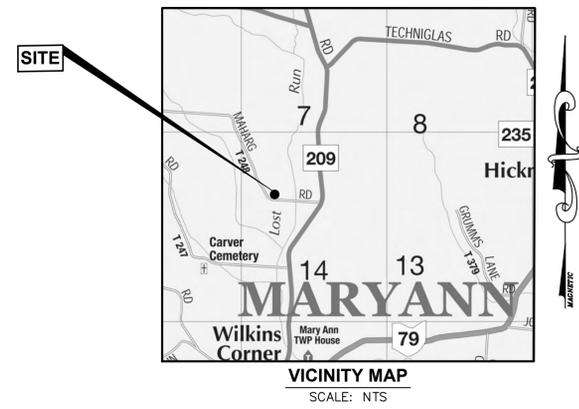


### LEGEND

- Iron Pin Found
- Iron Pipe Found
- ✕ PK/Mag Nail Found
- ▲ RR Spike Found
- ⊠ Monument Box
- Stm/San Manhole (see label)
- ⊠ Sanitary Cleanout
- ⊠ Square Catch Basin
- ⊠ Round Catch Basin
- ⊠ Curb Inlet
- ⊠ Curb Manhole Inlet
- ⊠ Fire Hydrant
- ⊠ Pole Tel
- ⊠ Pole Tel Light
- ⊠ Pole Light
- ⊠ Pole Signal
- ⊠ Traffic Box
- ⊠ TR Guy Pole
- ⊠ Guy Wire
- ⊠ Ground Light
- ⊠ Air Conditioner
- ⊠ Cable Pedestal
- ⊠ Unknown Manhole
- ⊠ Access Lid
- Iron Pin Set
- Iron Pipe Set
- ✕ PK/Mag Nail Set
- ▲ RR Spike Set
- ⊠ Benchmark
- ⊠ Electric Transformer
- ⊠ Electric Manhole
- ⊠ Comm Manhole
- ⊠ Tel Pedestal
- ⊠ Pole Elec
- ⊠ Pole Elec Tel
- ⊠ Pole Elec Tel Light
- ⊠ Water Valve
- ⊠ Water Manhole
- ⊠ Sprinkler Box
- ⊠ Sprinkler Head
- ⊠ Underground Line Marker
- ⊠ Gas Valve
- ⊠ Gas Meter
- ⊠ Bollard
- ⊠ Soil Boring
- ⊠ Deciduous Tree
- ⊠ Pine Tree
- ⊠ Shrub



Bearings are based on the Ohio State Plane Coordinate System, South Zone, NAD83 (NSRS2011). Said bearings were derived from GPS observation and determine the north line of the subject 9.727 acre tract to have a bearing of S86°20'26\"/>



### NOTES CORRESPONDING TO SCHEDULE B - SECTION II OF COMMITMENT NO. 2020-310

- 10 As to PARCEL 2: a twenty foot utility easement located twenty feet west of and parallel to, the easterly property line as reserved in the deed from Mary E. Chilcote aka Mary Eleanor Chilcote, unmarried, and Prior Management Company, LLC to Log Pond Plaza, Ltd. as recorded in Instrument Number 200305160022225, Recorder's Office, Licking County, Ohio. DOCUMENT IS A DEED, THAT INCLUDES A TWENTY FOOT UTILITY EASEMENT AND A FIFTY FOOT INGRESS/EGRESS EASEMENT AS SHOWN HEREON.
- 11 Easement to The Ohio Power Company of record in Deed Book 340, Page 325, Recorder's Office, Licking County, Ohio. CANNOT DETERMINE LOCATION FROM DOCUMENT PROVIDED, NOT SHOWN HEREON. EASEMENT IS BLANKET IN NATURE, AND STATES, "RIGHT OF WAY EASEMENT FOR A LINE ALONG THE HIGHWAY ONLY"
- 12 Easement to the Ohio Power Company of record in Deed Book 342, Page 403, Recorder's Office, Licking County, Ohio. EASEMENT APPEARS TO NOT BE LOCATED ON SUBJECT PROPERTY, AS DOCUMENT STATES, "LAYING EAST OF TWENTY-FIRST STREET", NOT SHOWN HEREON.
- 13 Storm Water Drainage Easement of record in Instrument Number 200305160022227, Recorder's Office, Licking County, Ohio. LOCATED ON SUBJECT PROPERTY AS SHOWN HEREON.
- 14 Right of Way to Industrial Gas Corporation of record in Deed Book 355, Page 528, Recorder's Office, Licking County, Ohio. EASEMENT APPEARS TO NOT BE LOCATED ON SUBJECT PROPERTY, AS DOCUMENT STATES, "LYING EAST OF TWENTY-FIRST STREET"
- 15 Easement and Right of Way to Alltel Ohio Inc. of record in Instrument Number 200309300047324, Recorder's Office, Licking County, Ohio. EASEMENT APPEARS TO NOT BE LOCATED ON SUBJECT PROPERTY, AS APPROXIMATELY SHOWN HEREON AS EASEMENT LOCATION INTENDED TO BE 5' ON EITHER SIDE OF THE ACTUAL INSTALLED CABLES, DOCUMENT STATES LINES AND FACILITIES IN, UNDER, OVER, UPON AND ACROSS A PART OF...A 5.649 ACRE TRACT, NOT THE SUBJECT PROPERTY.
- 16 Easement and Right of Way to Ohio Power Company of record in Instrument Number 200312120058555, Recorder's Office, Licking County, Ohio. NOT LOCATED ON SUBJECT PROPERTY, NOT SHOWN HEREON, LOCATED ON 5.649 ACRE TRACT.
- 17 Easement and Right of Way to National Gas & Oil Co-op of record in Instrument Number 200312160059081, Recorder's Office, Licking County, Ohio. NOT LOCATED ON SUBJECT PROPERTY, NOT SHOWN HEREON, LOCATED ON 5.649 ACRE TRACT.
- 18 Easement and Right of Way to National Gas & Oil Co-op of record in Instrument Number 200403170009109, Recorder's Office, Licking County, Ohio. APPEARS TO NOT BE LOCATED ON SUBJECT PROPERTY, NOT SHOWN HEREON, LOCATED ON APPROXIMATE 5.248 ACRES, "ADJACENT, AND SPANNING GRANTOR'S EASTERN PROPERTY/LOT BOUNDARY. THE SAME ALSO BEING THE WESTERLY MOST RIGHT OF WAY BOUNDARY OF NORTH 21st STREET"... "PARALLEL SAID PUBLIC ROADWAY"
- 19 Easement reservations in the deed of record in Deed Book 779, Page 138, Recorder's Office, Licking County, Ohio. NOT LOCATED ON SUBJECT PROPERTY, NOT SHOWN HEREON.
- 20 Oil & Gas Lease to S.D. McClooy & W.B. McCloy of record in Lease Book 68, Page 498, Recorder's Office, Licking County, Ohio. CANNOT DETERMINE LOCATION FROM DOCUMENT PROVIDED, NOT SHOWN HEREON. EASEMENT IS BLANKET IN NATURE
- 21 Easement to the City of Newark of record in Deed Book 738, Page 63, Recorder's Office, Licking County, Ohio. CANNOT DETERMINE LOCATION FROM DOCUMENT PROVIDED.
- A Ingress/egress easement to Chilcote Prior, LLC Instrument Number 2020012170034717. EASEMENT 50' BY 50' FOR INGRESS/EGRESS AND ACCESS TO PUBLIC UTILITIES, LOCATED ON SUBJECT PROPERTY, ALONG WITH A 50' INGRESS/EGRESS EASEMENT, NOT LOCATED ON SUBJECT PROPERTY, BOTH SHOWN HEREON.

### LEGAL DESCRIPTION - CONTINUED

The bearings of the above description are based on the South line of Lot 2, as being N 88°56'20" W, and is an assumed Meridian used to denote angles only.

All iron pins set are 5/8" o.d. iron pins 30" long with red caps labeled "S.A. ENGLAND #S-7452".

The above description was prepared by S.A. England Surveying, under the direct supervision of Scott A. England, Ohio Registered Surveyor #S-7452 in December of 2018.

PARCEL 2:  
Use of that 50' ingress/egress easement reserved in the deed from Mary E. Chilcote aka Mary Eleanor Chilcote, unmarried, and Prior Management Company, LLC to Log Pond Plaza, Ltd. as recorded in Instrument Number 200305160022225; as transferred to the Grantors herein in Instrument Number 202002100003481, Recorder's Office, Licking County, Ohio.

### FLOOD NOTE

By graphic plotting only this property is located in Zone "X" (Areas determined to be outside of the 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile) & Zone "AE" (Special Flood Hazard Areas, without base flood elevation (BFE) by the Federal Emergency Management Agency on Flood Insurance Rate Map, Community Panel No. 390890C333J, with an effective date of March 16, 2015, in Franklin County, Ohio. No field surveying was performed to determine this zone.

### STATEMENT OF ENCROACHMENTS

none seen

### MISCELLANEOUS NOTES

Dimensions on this plat are expressed in feet and decimal parts thereof unless otherwise noted. Monuments were found at points where indicated.

Any locations of underground utilities shown hereon are based upon visible above ground structures and/or record drawings provided to the surveyor. Locations of underground utility lines and structures may vary from locations shown hereon. Additional buried utility lines and structures may be encountered. No excavations were made during the progress of this survey to locate buried utilities/structures.

No evidence of recent earth moving work, building construction, or building additions observed in the process of conducting the fieldwork.

The land described hereon is all of the land as described in Schedule A of the title commitment as issued by First American Title Insurance Company, Commitment Number 2020-310, Effective date October 05, 2020 at 7:00 A.M.

### ALTA / NSPS CERTIFICATION

To: Shanghai Enterprises, LLC, First American Title Insurance Company, Anderson Land Title Agency, Ltd.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 8, 11, 13, 15, and 16 of Table A thereof. The field work was completed on April, 2018.

ADVANCED CIVIL DESIGN, INC.  
PRELIMINARY

Jonathan E. Phelps, P.S. Date  
Reg. No. 8241

### ALTA/NSPS Land Title Survey

PLAN PREPARED BY: JEP  
CHECKED BY: JEP

781 Science Blvd., Suite 100  
Cathanna, Ohio 43230  
ph 614.428.7750  
fax 614.428.7755

ENGINEERS SURVEYORS

SCALE: 1" = 60'  
DATE: January 28, 2021

SHEET 1 / 1  
JOB NO.: 20-0001-1161



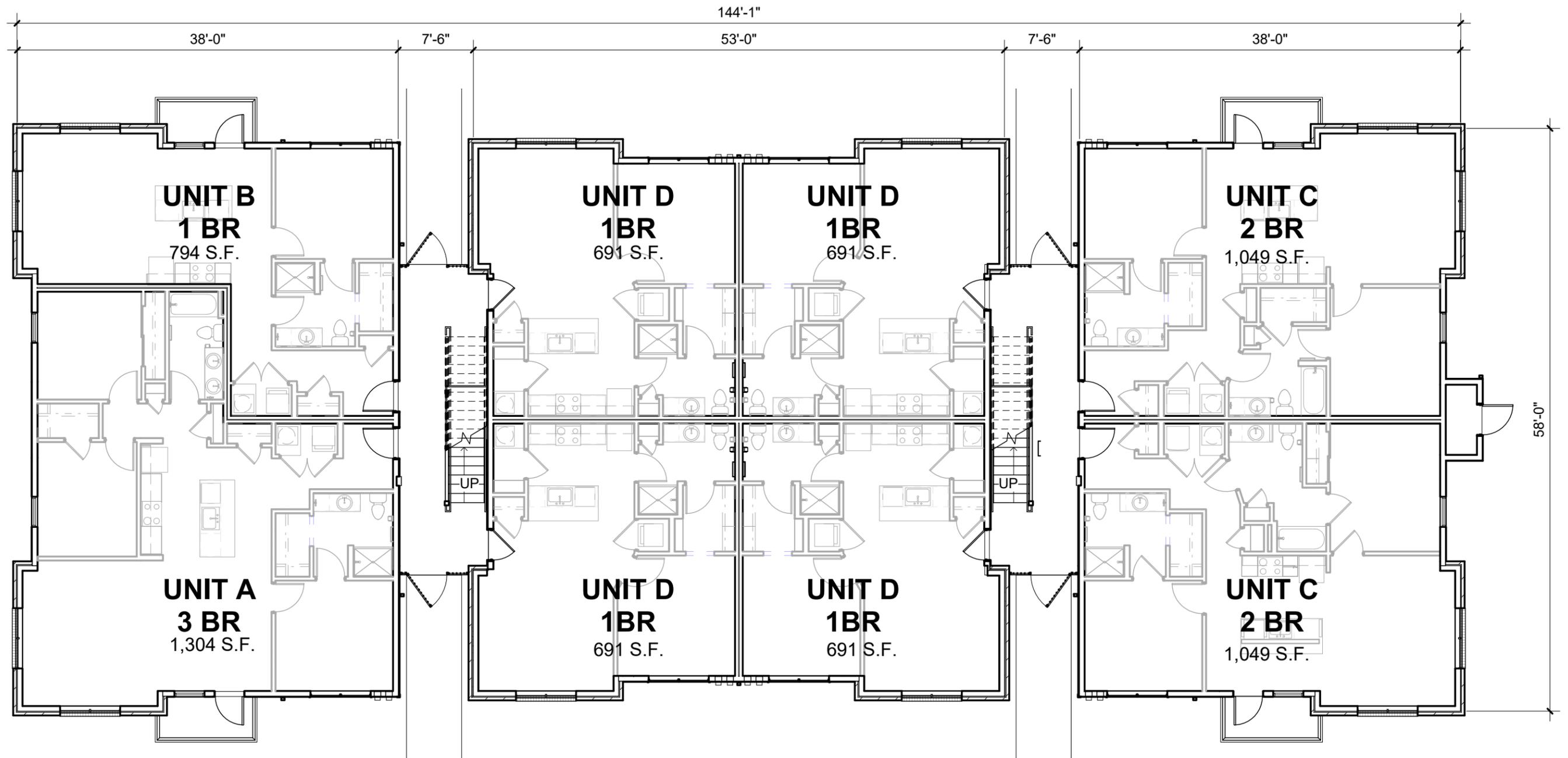
Perspective

# Newark Apartments

Log Pond Road, Newark, Ohio

2020-12-14



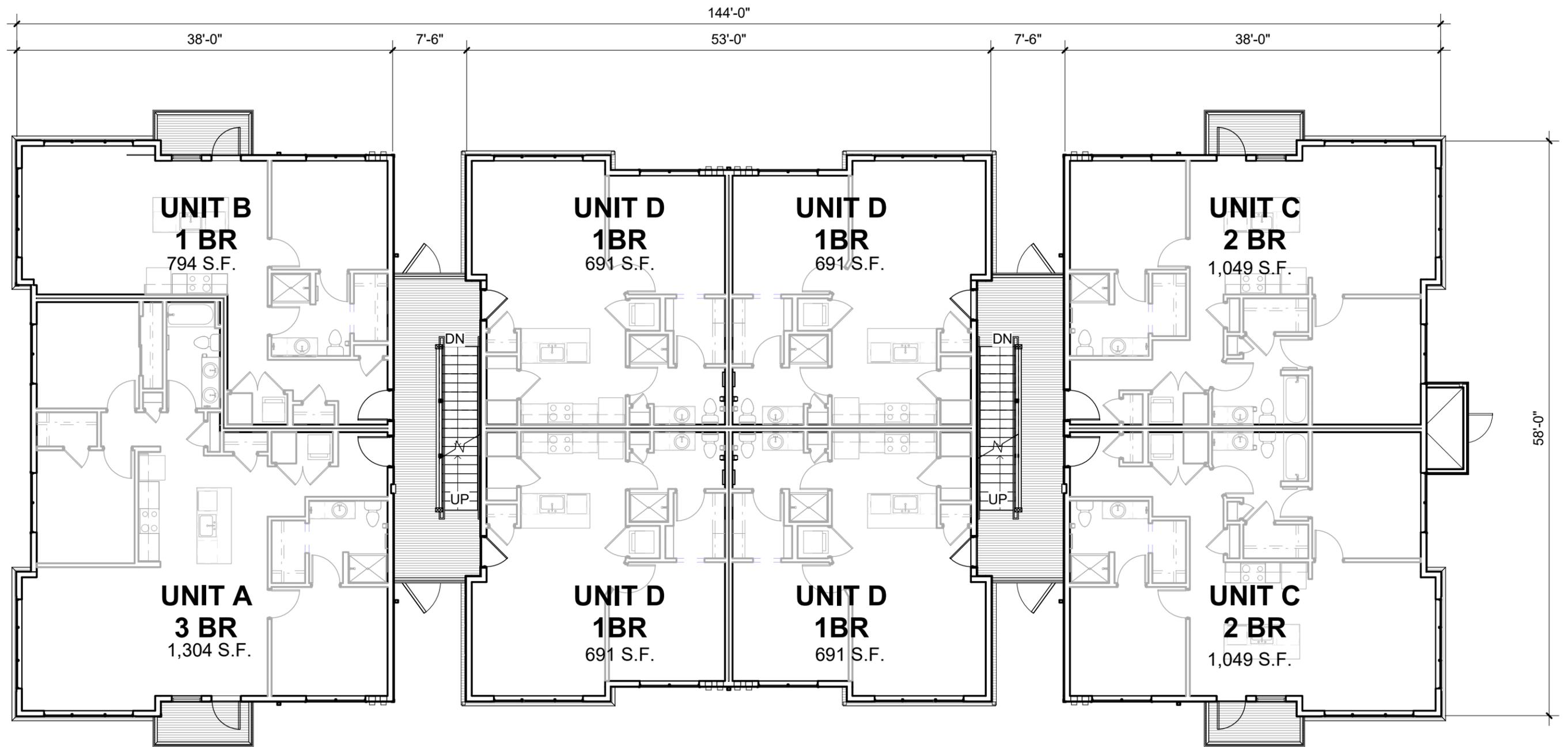


**Floor 1 Plan**  
 3/32" = 1'-0"

# Newark Apartments

Log Pond Road, Newark, Ohio  
 2020-12-14





**Floor 2 Plan**

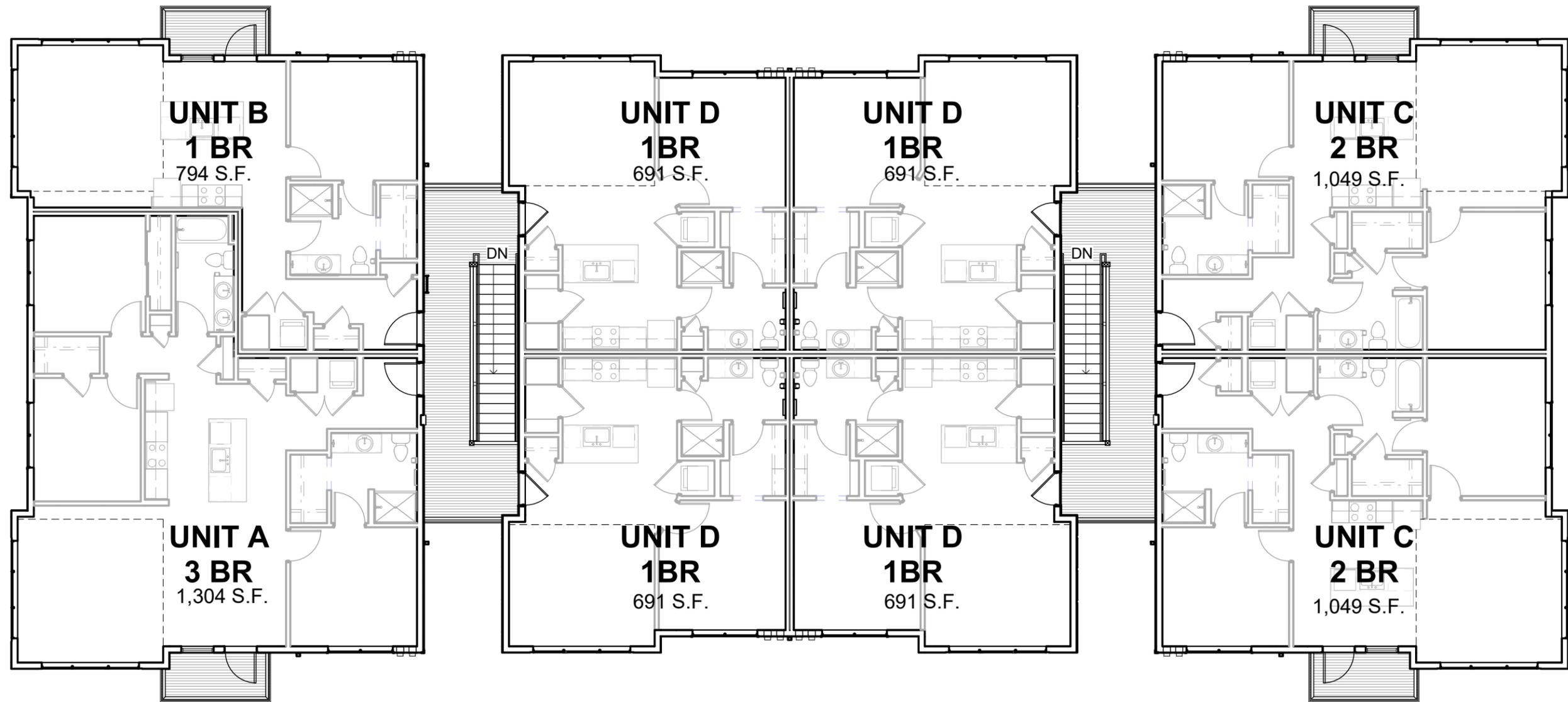
3/32" = 1'-0"

**Newark Apartments**

Log Pond Road, Newark, Ohio

2020-12-14





## Floor 3 Plan

3/32" = 1'-0"

# Newark Apartments

Log Pond Road, Newark, Ohio

2020-12-14





## Front & Rear Elevation

3/32" = 1'-0"

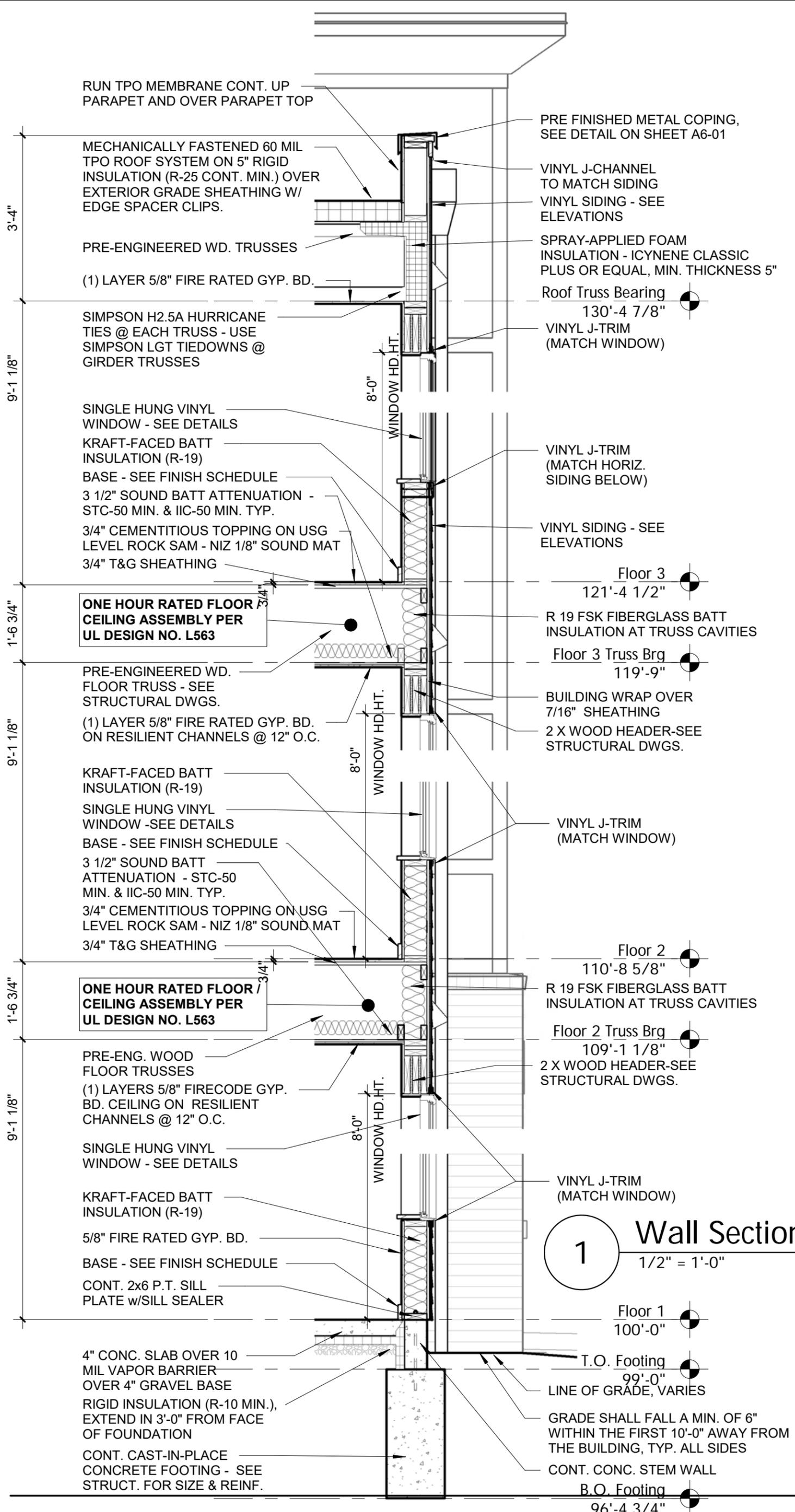
# Newark Apartments

Log Pond Road, Newark, Ohio

2020-12-14



SULLIVAN BRUCK  
ARCHITECTS



**1 Wall Section at Parapet prelim**  
 1/2" = 1'-0"

Newark Apartments  
 Log Pond Road, Newark, Ohio

Date of Issue:  
 12/30/21

PB-4

Project: 20007.00