

PLANNING COMMISSION MEETING  
TUESDAY, APRIL 12, 2022 6:00 P.M.  
Council Chambers  
40 W MAIN ST, NEWARK, OH 43055

## **AGENDA**

### **1. CALL TO ORDER**

### **2. APPROVAL OF MINUTES FOR THE MARCH 8, 2022 PLANNING COMMISSION MEETING**

## **PUBLIC HEARING**

### **3. ZONING CHANGE FOR MULTIPLE PARCELS ON HUDSON AVE., ELMWOOD AVE., MT. VERNON RD.**

Application Number : PC-22-04

Owner: Multiple Owners

Applicant: Newark Planning Commission

Current Zoning: CSI – Church School Institutional; GO- General Office; LB – Limited Intensity Business;

MB – Medium Intensity Business; MFR – Multi-Family Residence; Single-Family Residence-RH-High

Density; TRF – Two-Family Residence

Proposed Zoning: DC – Downtown District

### **4. ZONING CHANGE FOR 1303 LOGPOND DRIVE**

Application Number : PC-22-07

Owner: Eric W. Skipper

Applicant: John Roush

Current Zoning: GB – General Business District

Proposed Zoning: MFR – Multi-Family Residence District

### **5. ZONING CHANGE FOR 170 RIVERVIEW DR.**

Application Number : PC-22-08

Owner: SokoMac Investments LLC

Applicant: Conrad Sokolowski

Current Zoning: GB – General Business District

Proposed Zoning: MFR – Multi-Family Residence District

## **OLD BUSINESS**

## **NEW BUSINESS**

### **6. SITE PLAN REVIEW FOR NEW POLE BUILDING AT THE WORKS 52-56 SOUTH 1<sup>ST</sup> STREET**

Application Number : PC-21-41

Owner: The Works – Ohio Center for History, Arts and Technology, 55 South 1<sup>st</sup> St, Newark, Oh 43055

Applicant: The Works – Justin Finehout [justinfinehout@attheworks.org](mailto:justinfinehout@attheworks.org)

Tim Scheck [tim@projectconstructionco.com](mailto:tim@projectconstructionco.com) Janice LoRaso [JaniceLoRaso@attheworks.org](mailto:JaniceLoRaso@attheworks.org)

### **7. SITE PLAN REVIEW FOR 240 LAVERNE APARTMENTS, LAVERNE ROAD – 14 apartment units in 7 buildings**

Application Number : PC-22-16

Owner: Laverne Heath Properties LLC, 1239 Cherry Valley Rd SE, Newark, Oh 43055

Applicant: Bryan Lewis [blewis@stoneworksllc.com](mailto:blewis@stoneworksllc.com)

**MISCELLANEOUS – ADMINISTRATIVE APPROVALS**

**THE NEXT SCHEDULED PLANNING COMMISSION MEETING WILL BE HELD ON TUESDAY, MAY 10, 2022, 6:00 P.M. THE DEADLINE FOR AGENDA ITEM SUBMITTAL IS MONDAY, APRIL 18, 2022 4:30 P.M.**



Planning Commission  
c/o Engineering Department  
40 West Main St, 2<sup>nd</sup> Floor  
Newark, Ohio 43055  
(740) 670-7727  
(740)349-5911 Fax

*City of Newark*  
*Planning Commission*  
*Zoning District Change Application*

[www.newarkohio.net/government/boards-commissions/planning-commission](http://www.newarkohio.net/government/boards-commissions/planning-commission)

Office Use Only

Zoning File # N/A  
PC Application # PC-22-04  
Date Received: 1/24/22  
Received by: P/NaMP  
Amount Due: \$100.00 NC  
Paid By: (circle one)  
Check #      Cash  
Receipt #     

Rev 2/13

<input checked="" type="checkbox"/> District Change		<input type="checkbox"/> District Establishment (Newly Annexed)	
<b>Owner</b>			
Property Owner: Multiple Property Owners – See attached list of parcels and owners		Telephone:	
Address:		E-mail:	
City:	State:	Zip:	Fax:
<i>I would prefer to have agendas mailed rather than e-mailed</i> <input type="checkbox"/>			
<b>Applicant/Representative</b>			
Representative: Newark City Planning Commission		Same as above <input type="checkbox"/>	Telephone: 740-670-7727
Address: 40 West Main Street		E-mail: engadmin@newarkohio.net	
City: Newark	State: Ohio	Zip: 43055	Fax:
<i>I would prefer to have agendas mailed rather than e-mailed</i> <input type="checkbox"/>			
<b>Property Location</b>			
Street Address: Multiple parcels on Hudson Ave, Elmwood Ave, and Mt Vernon Rd, between SR 16 and St Clair / Hoover Street			
Parcel Tax ID #: See attached list		Number of Acres:	
Lot Number: (if applicable)		Property Platted? Yes <input type="checkbox"/> No <input type="checkbox"/>	
<b>District Classification</b> (Zoning Code 08-33, see <a href="http://www.newarkohio.net">www.newarkohio.net</a> )			
<b>Present Zoning District:</b>		<b>Proposed Zoning District:</b>	
<input type="checkbox"/> AD Agricultural		<input type="checkbox"/> AD Agricultural	
<input type="checkbox"/> CD Conservation		<input type="checkbox"/> CD Conservation	
<input checked="" type="checkbox"/> CSI Church School Institutional		<input type="checkbox"/> CSI Church School Institutional	
<input type="checkbox"/> DC Downtown		<input checked="" type="checkbox"/> DC Downtown	
<input type="checkbox"/> GB General Business		<input type="checkbox"/> GB General Business	
<input type="checkbox"/> GC General Commercial		<input type="checkbox"/> GC General Commercial	
<input type="checkbox"/> GI General Industrial		<input type="checkbox"/> GI General Industrial	
<input checked="" type="checkbox"/> GO General Office		<input type="checkbox"/> GO General Office	
<input type="checkbox"/> HB High Intensity Business		<input type="checkbox"/> HB High Intensity Business	
<input checked="" type="checkbox"/> LB Limited Intensity Business		<input type="checkbox"/> LB Limited Intensity Business	
<input type="checkbox"/> LC Limited Commercial		<input type="checkbox"/> LC Limited Commercial	
<input type="checkbox"/> LI Limited Industrial		<input type="checkbox"/> LI Limited Industrial	
<input type="checkbox"/> LO Limited Office		<input type="checkbox"/> LO Limited Office	
<input checked="" type="checkbox"/> MB Medium Intensity Business		<input type="checkbox"/> MB Medium Intensity Business	
<input type="checkbox"/> MFC Multi-Family Condo		<input type="checkbox"/> MFC Multi-Family Condo	
<input type="checkbox"/> MFH Multi-Family High Rise		<input type="checkbox"/> MFH Multi-Family High Rise	
<input checked="" type="checkbox"/> MFR Multi-Family Residence		<input type="checkbox"/> MFR Multi-Family Residence	
<input type="checkbox"/> Overlay Historic		<input type="checkbox"/> Overlay Historic	
<input type="checkbox"/> Planned Unit Development		<input type="checkbox"/> Planned Unit Development	
<input type="checkbox"/> RMH Single-Family Residence Manufactured Home		<input type="checkbox"/> RMH Single-Family Residence Manufactured Home	
<input checked="" type="checkbox"/> Single-Family Residence (Circle one)		<input type="checkbox"/> Single-Family Residence (Circle one)	
RS-Suburban RL-Low Density RM-Medium Density <u>RH-High Density</u>		RS-Suburban RL-Low Density RM-Medium Density RH-High Density	
<input type="checkbox"/> RZL Single-Family Residence Zero Lot Line		<input type="checkbox"/> RZL Single-Family Residence Zero Lot Line	
<input type="checkbox"/> SFC Single-Family Condo		<input type="checkbox"/> SFC Single-Family Condo	
<input checked="" type="checkbox"/> TFR Two-Family Residence		<input type="checkbox"/> TFR Two-Family Residence	

**Property Use****Present Use:**

CSI, GO, LB, MB, MFR, RH and TFR Districts

**Proposed Use:** DC District**Additional Comments****Reason For Request:**

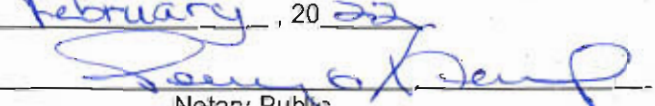
Expansion of the Downtown Commercial District to allow a greater variety of mixed-use development of these parcels in the future.

**Required Documentation and Process Overview**

- ☐ Original Application Form – must contain notarized signature of the property owner
- ☐ Tax Map and Auditor's Parcel Numbers for the parcels to be re-zoned. Contact the [Licking County Engineer's Office](#) for a tax map or visit <http://www.lcounty.com/Treasurer> to print out Real Estate Tax parcel information and a parcel map. [Licking County Engineer's Office is located at 20 South 2<sup>nd</sup> St \(3<sup>rd</sup> Floor\) Newark, OH 43055 \(740\) 670-5280.](#)
- ☐ Legal Description of parcels to be re-zoned. (typically a survey description or valid deed description)  
**Note: Legal Description must be reviewed and stamped approved by the Newark City Engineering Department**
- ☐ A drawing or map showing the location of all buildings on the parcels. (A current Google aerial photo is acceptable.)
- ☐ Application Fee of \$100.00, cash or check. Make check payable to "City of Newark".
- ☐ Call the [Newark City Engineering/Zoning Department](#) to schedule a Zoning and Legal Description Review. [Newark City Engineering/Zoning Department is located at 40 W. Main Street \(2nd Floor\) Newark, OH 43055 \(740\) 670-7727](#)  
**Note: an Engineering/ Zoning Authorization Signature is required on this application. See below.**
- ☐ Submit all application materials to the [Newark City Engineering/Zoning Department](#) for inclusion on a Planning Commission Agenda.
- ☐ Attend the [Planning Commission Meetings](#) and [Council Meetings](#) held in Newark City Council Chambers, 40 W. Main Street (1<sup>st</sup> Floor) throughout the process. The process typically takes 3 -4 months to complete.  
**Note: be prepared to answer Planning Commission and Council Member's questions regarding your application**

**Owner Acknowledgement**

I hereby certify that the information provided in this application is true and factual to the best of my knowledge.

Property Owner Signature: Date 2/9/2022Sworn and subscribed before me this 10<sup>th</sup> day of February, 20 22My Commission Expires: 5/11/2024  
Notary Public**Engineering/Zoning Authorization – Office Use Only**Approved ☒Denied ☐Approved with Conditions ☐Representative Signature: Date 2/10/2022

Comments/Conditions: \_\_\_\_\_

**Planning Commission Recommendation to Council – Office Use Only**Approved ☐Denied ☐Approved with Conditions ☐  
(See Letter of Recommendation)

Planning Director Signature: \_\_\_\_\_

Date \_\_\_\_\_

Conditions: \_\_\_\_\_

**After Planning Commission Recommendation:**

- ☐ Contact the Clerk of Council regarding Council Public Hearing Date and Final Vote.  
[Clerk of Council's Office](#) is located at 40 W Main St (2nd Floor) Newark, OH 43055 (740) 670-7516.



	PARCEL NUMBER	FIRST NAME	LAST NAME	PHYSICAL ADDRESS
1	5427337800000	SHIELDS PAUL G	BAUM ELLIOT C	9-17 WYOMING ST
2	5426575200000	EDITH IRENE	BERNARDO	221 MT VERNON RD
3	5427881400000	CHARLES T-CO-TR	BODLE	176 ELMWOOD AVE
4	5428140600001	ROBERT C	CALLENDER	204 HUDSON AVE
5	5427004800000	LARRY L	CAMPBELL	231 HUDSON AVE
6	5427603600000	VICKY M	CHRISTIANSEN	172 HUDSON AVE
7	5426083800000	ASHLEY C	CLARK	207 MT VERNON RD
8	5427475200000		COMMUNITY DEVELOPMENT - NEWARK - CITY OF	191 HUDSON AVE
9	5427347400000		COMMUNITY REDEVELOPMENT PARTNERS L L C	200 HUDSON AVE
10	5427033000000	RAYMOND T	COOKSEY	180 HUDSON AVE
11	5426995200000	RAYMOND T & LORI J	COOKSEY	176 HUDSON AVE
12	5427883200000	NATALIE	COST	175 ELMWOOD AVE
13	5427585000000	GERALD	DEPALMO	209 ELMWOOD AVE
14	5428077000000	GERALD	DEPALMO	199 ELMWOOD AVE
15	5428129800000	GERALD P	DEPALMO	204 MT VERNON RD
16	5427492600000	GERALD	DEPALMO	223 ELMWOOD AVE
17	5427156600000	GERALD P	DEPALMO	222 MT VERNON RD
18	5428054200000	GERALD P	DEPALMO	218 MT VERNON RD
19	5427522600000	GERALD P	DEPALMO	210 MT VERNON RD
20	5428041000000	DIANA	DUNLAP	223 HUDSON AVE
21	5426665200000		ELESS INC	231 MT VERNON RD
22	5426868600000		ELESS INC	229 MT VERNON RD
23	5427820200000	STEVEN SETH	ELLIOTT	176 MT VERNON RD
24	5427712800000		EXTREME TALENTS LLC	164 ELMWOOD AVE
25	5428044000000		EXTREME TALENTS LLC	166 ELMWOOD AVE
26	5427910200000	CAROL A	FLOYD	198 MT VERNON RD
27	5427759600000	MYRTLE	FRAZIER	203-205 HUDSON AVE
28	5427909000000	DANIEL A	GHILONI	219 HUDSON AVE
29	5428091400000	MARGARET	GHILONI	226 ELMWOOD AVE
30	5427249600000	GREGORY	GLANCY	192-194 HUDSON AVE
31	5427136800000	GREGORY E	GLANCY	196 HUDSON AVE
32	5428003200000	LINDA L	HUDSON	183 ELMWOOD AVE
33	5426997000000	KERBY D & MARY B	HUTCHINS	220 HUDSON AVE
34	5427022800000		J & K INVESTMENTS PROPERTIES OF CENTRAL OHIO LL	166 HUDSON AVE
35	5427547200000		JAV PROPERTIES	205-207 ELMWOOD AVE
36	5427667800000		JLH REALTY LLC	187 ELMWOOD AVE
37	5427649200000	BARB	KASEMAN	197 HUDSON AVE
38	5427882600000	BETH A	LAUGHERY	169 ELMWOOD AVE
39	5427609600000	GARY A & SONDR	LOWE	192 ELMWOOD AVE
40	5427171000000	GARY A & SONDR	LOWE	184 ELMWOOD AVE
41	5428142400000		LOWRYS MOWING & BUSHHOGGING	188-190 HUDSON AVE
42	5427057600000	ERIC N & PRISCILLA A	MCKEE	234 MT VERNON RD
43	5426071200000	JOSEPH D	MCNEAL JR	185 MT VERNON RD
44	5428134000000	AMBERLYN S	MURPHY	214-218 HUDSON AVE
45	5428140600000	AMBERLYN S	MURPHY	210 HUDSON AVE
46	5428020000000		NDP-HUDSON LLC	181 HUDSON AVE
47	5427017400000		NDP-HUDSON LLC	177 HUDSON AVE
48	5418654800000		NDP-HUDSON LLC	169 HUDSON AVE
49	5427015000001		NDP-HUDSON LLC	173 HUDSON AVE
50	5427479400000		NDP-HUDSON LLC	185 HUDSON AVE
51	5427366600000		NDP-HUDSON LLC	172 ELMWOOD AVE
52	5428117800000		NDP-HUDSON LLC	168 ELMWOOD AVE
53	5427765600000		NEWARK - CITY OF	188 MT VERNON RD
54	5426180400000		NEWARK - CITY OF	191 MT VERNON RD
55	5426504400000		NEWARK - CITY OF	213 MT VERNON RD
56	5427792000000		NEWARK - CITY OF	182 MT VERNON RD
57	5427957000000		NEWARK - CITY OF	184 MT VERNON RD
58	5427765600000		NEWARK - CITY OF	188 MT VERNON RD
59	5427410400000		NUMBER - 232 HUDSON L L C	232 HUDSON AVE
60	5428032600000	SON	OBRIEN	177 ELMWOOD AVE
61	5426069400000	RANDY L	PATRICK	195 MT VERNON RD

	PARCEL NUMBER	FIRST NAME	LAST NAME	PHYSICAL ADDRESS
62	5427009600000		PERIHELION OHIO LLC	215 HUDSON AVE
63	5427346800000		PERIHELION OHIO LLC	207 HUDSON AVE
64	5427403800000	CHARLES E-JR	QUICK	191 ELMWOOD AVE
65	5426843400000	CHRISTOPHER	RAMSEY	183 MT VERNON RD
66	5428123200000		RAVEUX PROPERTIES L L C	217 ELMWOOD AVE
67	5427545400000	ROBERT C	ROMINE TR	204 ELMWOOD AVE
68	5427993000000		SAX 2 LLC	188 ELMWOOD AVE
69	5426775600000		SAX 3 LLC	215 MT VERNON RD
70	5427711600000		SAX 1 LLC	196-198 ELMWOOD AVE
71	5427976800000	JOHN & AMY	SHAW	215 ELMWOOD AVE
72	5428087200000		SPECIALTY HOMES LLC	194 ELMWOOD AVE
73	5427763200000	KAY	SPIRES	195 ELMWOOD AVE
74	5427910800000		TSBM HOLDINGS LLC	192 MT VERNON RD
75	5427760200000		TSBM HOLDINGS LLC	199 HUDSON AVE
76	5426956200000		URBAN DEVELOPMENT CO OF OHIO LTD	223 MT VERNON RD
77	5426829000000		URBAN DEVELOPMENT COMPANY OF OHIO LTD	181 MT VERNON RD
78	5427288000000	KONNIE C-TR	WARTH	228 HUDSON AVE
79	5427434400000		WELLS FARGO BANK NA	200 ELMWOOD AVE
80	5427561600000	CHRISTINE S-TR	WHITE	200 MT VERNON RD
81	5428146600000	CHRISTINE S-TR	WHITE	201 ELMWOOD AVE
82	5425944000000	PAUL	WRIGHT	203 MT VERNON RD

*Process & Addresses*

**APPROVED** *FOR ZONING PURPOSES*

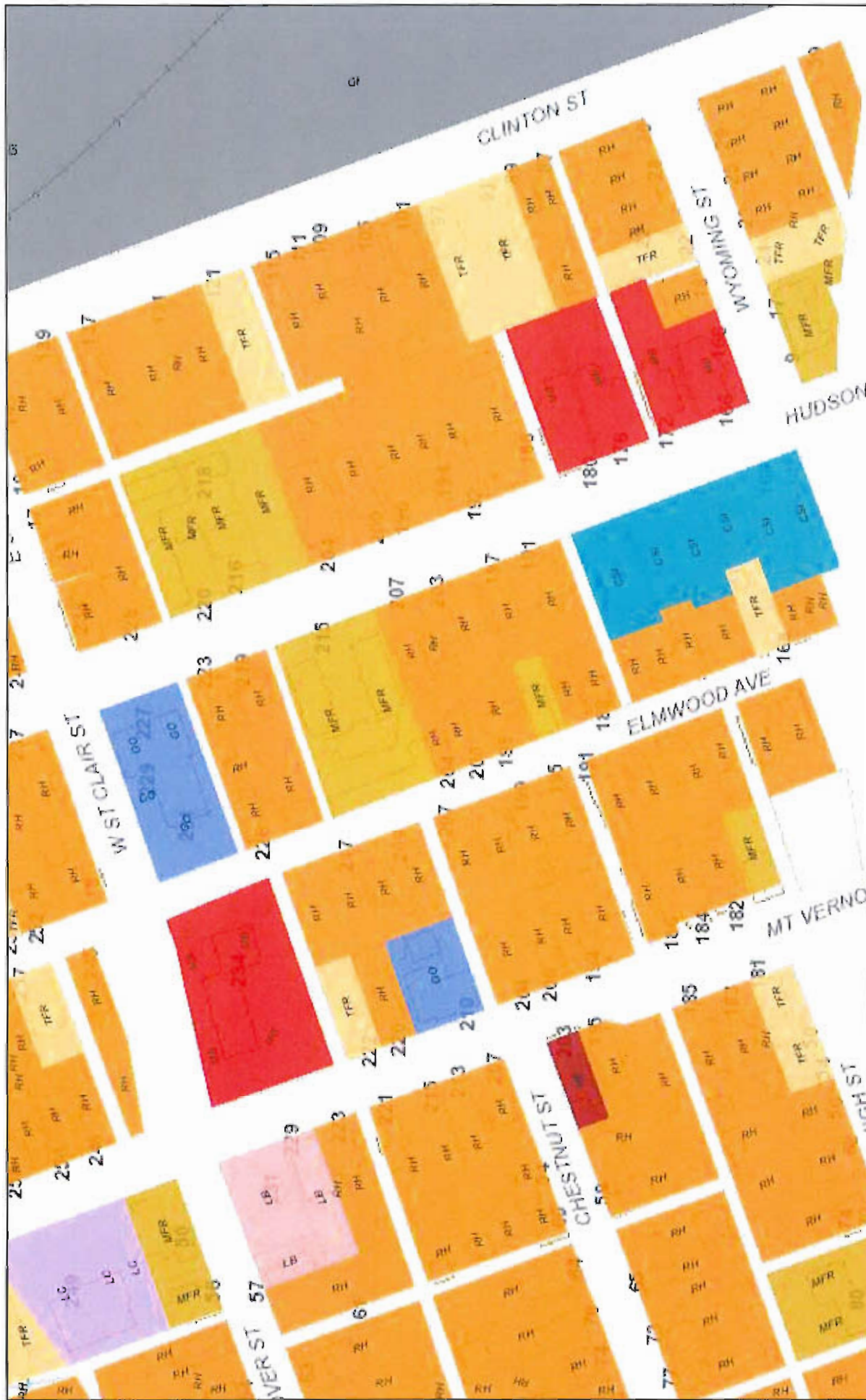
By *Paul J. White* 2/9/2022

Div. of Engineering  
City of Newark, Ohio

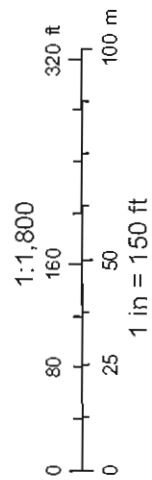








January 25, 2022







Planning Commission  
c/o Engineering Department  
140 West Main St, 2<sup>nd</sup> Floor  
Newark, Ohio 43055  
(740) 670-7727  
(740) 349-5911 Fax

*City of Newark*  
*Planning Commission*  
*Zoning District Change Application*  
[www.newarkohio.net/government/boards-commissions/planning-commission](http://www.newarkohio.net/government/boards-commissions/planning-commission)

**Office Use Only**  
Zoning File # \_\_\_\_\_  
PC Application # PC-22-07  
Date Received: 2/1/22  
Received by: P. Kemp  
Amount Due: \$100.00  
Paid By: (circle one)  
Check # 27709 Cash  
Receipt # 537115

Rev 2/13

<input checked="" type="checkbox"/> District Change		<input type="checkbox"/> District Establishment (Newly Annexed)	
<b>Owner</b>			
Property Owner: ERIC W. SKIPPER		Telephone: 843-425-6786	
Address: 7794 KINGS COLLEGE AVE APT 453		E-mail: ewskipper@gmail.com	
City: GERMANTOWN	State: TN	Zip: 38138	Fax:
<i>I would prefer to have agendas mailed rather than e-mailed</i> <input type="checkbox"/>			
<b>Applicant/Representative</b>			
Representative: JOHN ROUSH		Same as above <input type="checkbox"/>	Telephone: 614-206-2778
Address: 13375 NATIONAL RD. SW, SUITE D		E-mail: JOHN@EXPRESSWASHCONCEPTS.COM	
City: REYNOLDSBURG	State: OH	Zip: 43068	Fax:
<i>I would prefer to have agendas mailed rather than e-mailed</i> <input type="checkbox"/>			
<b>Property Location</b>			
Street Address: 1303 LOG POND DR.			
Parcel Tax ID #: 054-269904- <del>00.000</del>		Number of Acres: 5.138 (ZONING CHANGE OF ONLY 3.648 AC)	
Lot Number: (if applicable) 8		Property Platted? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
<b>District Classification</b> (Zoning Code 08-33, see <a href="http://www.newarkohio.net">www.newarkohio.net</a> )			
<b>Present Zoning District:</b> <input type="checkbox"/> AD Agricultural <input type="checkbox"/> CD Conservation <input type="checkbox"/> CSI Church School Institutional <input type="checkbox"/> DC Downtown <input checked="" type="checkbox"/> GB General Business <input type="checkbox"/> GC General Commercial <input type="checkbox"/> GI General Industrial <input type="checkbox"/> GO General Office <input type="checkbox"/> HB High Intensity Business <input type="checkbox"/> LB Limited Intensity Business <input type="checkbox"/> LC Limited Commercial <input type="checkbox"/> LI Limited Industrial <input type="checkbox"/> LO Limited Office <input type="checkbox"/> MB Medium Intensity Business <input type="checkbox"/> MFC Multi-Family Condo <input type="checkbox"/> MFH Multi-Family High Rise <input type="checkbox"/> MFR Multi-Family Residence <input type="checkbox"/> Overlay Historic <input type="checkbox"/> Planned Unit Development <input type="checkbox"/> RMH Single-Family Residence Manufactured Home <input type="checkbox"/> Single-Family Residence ( <b>Circle one</b> ) RS-Suburban RL-Low Density RM-Medium Density RH-High Density <input type="checkbox"/> RZL Single-Family Residence Zero Lot Line <input type="checkbox"/> SFC Single-Family Condo <input type="checkbox"/> TFR Two-Family Residence		<b>Proposed Zoning District:</b> <input type="checkbox"/> AD Agricultural <input type="checkbox"/> CD Conservation <input type="checkbox"/> CSI Church School Institutional <input type="checkbox"/> DC Downtown <input type="checkbox"/> GB General Business <input type="checkbox"/> GC General Commercial <input type="checkbox"/> GI General Industrial <input type="checkbox"/> GO General Office <input type="checkbox"/> HB High Intensity Business <input type="checkbox"/> LB Limited Intensity Business <input type="checkbox"/> LC Limited Commercial <input type="checkbox"/> LI Limited Industrial <input type="checkbox"/> LO Limited Office <input type="checkbox"/> MB Medium Intensity Business <input type="checkbox"/> MFC Multi-Family Condo <input type="checkbox"/> MFH Multi-Family High Rise <input checked="" type="checkbox"/> MFR Multi-Family Residence <input type="checkbox"/> Overlay Historic <input type="checkbox"/> Planned Unit Development <input type="checkbox"/> RMH Single-Family Residence Manufactured Home <input type="checkbox"/> Single-Family Residence ( <b>Circle one</b> ) RS-Suburban RL-Low Density RM-Medium Density RH-High Density <input type="checkbox"/> RZL Single-Family Residence Zero Lot Line <input type="checkbox"/> SFC Single-Family Condo <input type="checkbox"/> TFR Two-Family Residence	

Flood: A/AE

**Property Use****Present Use:** OPEN FIELD, GRASS/VEGETATION**Proposed Use:** MULTI-FAMILY  
APARTMENTS**Additional Comments**

**Reason For Request:** THE PROPOSED ZONING CHANGE WILL MATCH THE MFR ZONING OF THE ADJACENT PROPERTY, TO THE WEST, CURRENTLY UNDER DEVELOPMENT FOR 3 STORY APARTMENTS (THE LP, PHASE 1). THIS REQUEST WOULD ALLOW FOR A PHASE 2 OF THE LP APARTMENTS, AS SHOWN IN THE ATTACHED EXHIBIT. ZONING CHANGE IS FOR ONLY 3.648 ACRES OF THE ORIGINAL 5.138 ACRES. REMAINING 1.49 ACRES TO BE EXCLUDED FROM THIS REQUEST.

**Required Documentation and Process Overview**

- ☒ Original Application Form – must contain notarized signature of the property owner
- ☒ Tax Map and Auditor's Parcel Numbers for the parcels to be re-zoned. Contact the [Licking County Engineer's Office](http://www.lcounty.com/Treasurer) for a tax map or visit <http://www.lcounty.com/Treasurer> to print out Real Estate Tax parcel information and a parcel map. [Licking County Engineer's Office is located at 20 South 2nd St \(3rd Floor\) Newark, OH 43055 \(740\) 670-5280.](http://www.lcounty.com/Treasurer)
- ☒ Legal Description of parcels to be re-zoned. (typically a survey description or valid deed description)  
**Note: Legal Description must be reviewed and stamped approved by the Newark City Engineering Department**
- ☒ A drawing or map showing the location of all buildings on the parcels. (A current Google aerial photo is acceptable.)
- ☒ Application Fee of \$100.00, cash or check. Make check payable to "City of Newark".
- ☐ Call the [Newark City Engineering/Zoning Department](http://www.newarkcity.com/Engineering/Zoning) to schedule a Zoning and Legal Description Review. [Newark City Engineering/Zoning Department is located at 40 W. Main Street \(2nd Floor\) Newark, OH 43055 \(740\) 670-7727](http://www.newarkcity.com/Engineering/Zoning)  
**Note: an Engineering/ Zoning Authorization Signature is required on this application. See below.**
- ☒ Submit all application materials to the [Newark City Engineering/Zoning Department](http://www.newarkcity.com/Engineering/Zoning) for inclusion on a Planning Commission Agenda.
- ☐ Attend the [Planning Commission Meetings](http://www.newarkcity.com/Planning) and [Council Meetings](http://www.newarkcity.com/Council) held in Newark City Council Chambers, 40 W. Main Street (1st Floor) throughout the process. The process typically takes 3 -4 months to complete.  
**Note: be prepared to answer Planning Commission and Council Member's questions regarding your application**

**Owner Acknowledgement**

I hereby certify that the information provided in this application is true and factual to the best of my knowledge.

Property Owner Signature: [Signature]Date 2/1/22Sworn and subscribed before me this 1 day of FEBRUARY, 2022My Commission Expires: 4/15/24[Signature]  
Notary Public**Engineering/Zoning Authorization – Office Use Only**Approved ☒Denied ☐Approved with Conditions ☐Representative Signature [Signature]Date 2/9/2022

Comments/Conditions: \_\_\_\_\_

**Planning Commission Recommendation to Council – Office Use Only**Approved ☐Denied ☐Approved with Conditions ☐  
(See Letter of Recommendation)

Planning Director Signature: \_\_\_\_\_

Date \_\_\_\_\_

Conditions: \_\_\_\_\_

**After Planning Commission Recommendation:**

- ☐ Contact the Clerk of Council regarding Council Public Hearing Date and Final Vote.  
[Clerk of Council's Office](http://www.newarkcity.com/Clerk) is located at 40 W Main St (2nd Floor) Newark, OH 43055 (740) 670-7516.



# OnTrac Property Map

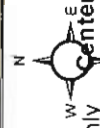


January 27, 2022

Street Number Only

Sales - 2022

Owner Name & Acres



Centerline Labels

Interstate/US/State Route

County Road

0 138 Feet

Township road

Other Road type

Interstates

Municipal Corporations

Jurisdictional Townships

0.04 Miles

Driveway

Licking County Auditor GIS

LICKING COUNTY TAX MAP



# S.A. ENGLAND SURVEYING

Professional Land Surveying  
P.O. Box 1770  
Buckeye Lake, Ohio 43008



E-mail: [www.surveyohio.com](http://www.surveyohio.com)

Phone: 740-323-0644

Fax: 740-323-0272

Ohio Phone: 1-800-551-5844

## Legal Description

**Tract B: 3.648 Acres**

### Part Eric W. Skipper Parcel: Instrument No. 2021-11100034525

Situated in the City of Newark, County of Licking, State of Ohio, and being a part of Lots 2 & Lot 8 in the Second Quarter, Township 2N, Range 12W, of the United States Military Lands, and being more particularly described as follows;

Being a Survey of a part of a 5.138 Acre parcel conveyed to Eric W. Skipper, as recorded in Instrument No. 2021-11100034525, in the Licking County Deed Records, and being all of P.P.N. 054-269904-00.000, and further described as follows;

Commencing for reference at a 5/8" o.d. iron pin found marking the Northwest corner of Log Pond Drive (45' Wide) Dedication, as recorded in Plat Book 17, Page 291, and being the Northeast corner of a parcel conveyed to PWREI Log Pond, LLC, as recorded in Instrument No. 2015-03260005641;

Thence, N 88°31'08" W 452.03 feet with the North line of said parcel conveyed to PWREI Log Pond, LLC, to a 5/8" o.d. iron pin found on the East line of a 9.727 Acre parcel conveyed to Shanghi Enterprises, LLC, as recorded in Instrument No. 2020-12170034718;

Thence, S 39°54'39" W 50.00 feet continuing with the boundary of said parcel conveyed to PWREI Log Pond, LLC, the same being the boundary of said parcel conveyed to Shanghi Enterprises, Inc., to an iron pin set, marking the Northeast corner of said parcel conveyed to Skipper of which this description is a part;

Thence, N 50°05'24" W 279.16 feet with the North line of said parcel conveyed to Skipper, of which this description is a part, the same being the South line of said parcel conveyed to Shanghi Enterprises, Inc., to an iron pin set, and being the PRINCIPLE PLACE OF BEGINNING of the 3.648 Acre parcel herein to be described;

Thence with a line across said parcel conveyed to Skipper, of which this description is a part, with the following two (2) courses and distances:

- 1) S 39°54'36" W 149.71 feet to an iron pin set;
- 2) S 12°08'40" W 159.56 feet to an iron pin set on the South line thereof, and being on the North line of a 10.039 Acre parcel conveyed to Newark Area Soccer Association, Inc., as recorded in Instrument No. 2020-12220035204, and passing over an iron pin set at 60.00 feet;

Thence, N 77°51'20" W 20.00 feet with the North line of said parcel conveyed to Newark Area Soccer Association, Inc., the same being the South line of said parcel conveyed to Skipper of which this description is a part, to an "inaccessible point" at the Northeast corner of a parcel conveyed to T.J. Evans Foundation, as recorded in Deed Book 782, Page 872;

Thence with the South line of said parcel conveyed to Skipper, of which this description is a part, the same being the boundary of said parcel conveyed to T. J. Evans Foundation, with the following three (3) courses and distances:

- 1) N 79°30'24" W 398.77 feet to an inaccessible point;
- 2) N 70°32'08" W 93.02 feet to an inaccessible point;
- 3) N 00°27'19" E 226.37 feet to a 5/8" o.d. iron pin found on the South line of said parcel conveyed to Shanghi Enterprises, LLC, and passing over a 5/8" o.d. iron pin found at 13.41 feet;

Thence with the North line of said parcel conveyed to Skipper, of which this description is a part, the same being the South line of said Shanghi Enterprises, LLC, with the following four (4) courses and distances:

- 1) S 88°56'20" E 165.00 feet to an iron pin set;
- 2) S 50°05'24" E 150.00 feet to an iron pin set;
- 3) N 39°54'36" E 250.26 feet to an iron pin set;
- 4) S 50°05'24" E 243.23 feet to the PRINCIPLE PLACE OF BEGINNING.

*Association*

**APPROVED**

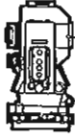
*FOR ZONING PURPOSES*

*By*

*[Signature]*

Div. of Engineering  
City of Newark, Ohio





**S.A. ENGLAND SURVEYING**

*Professional Land Surveying*  
P.O. Box 1770  
Buckeye Lake, Ohio 43008



E-mail: [www.surveyohio.com](http://www.surveyohio.com)

Phone: 740-323-0644

Fax: 740-323-0272

Ohio Phone: 1-800-551-5844

Said parcel as surveyed contains **3.648 Acres**, more or less, and is subject to all legal easements, right of ways, zoning restrictions, and ordinances of record.

Subject to the Flood Zone 'AE' Plain, as per Community Panel No. 39089C0333J, dated March 16, 2015, of the FEMA Maps of this area.

The bearings of the above description are based on the South line of Lot 2, as being N 88°56'20" W, and is an assumed Meridian used to denote angles only.

All iron pins set are 5/8" o.d. iron pins 30" long with red caps labeled "S.A. ENGLAND #S-7452".

The above description was prepared by S.A. England Surveying, under the direct supervision of Scott A. England, Ohio Registered Surveyor #S-7452 in December of 2018 and August of 2021.

Dated

2/1/12

Job No. 3717-21LI-TraetB

  
Scott A. England P.S.

Ohio Registered Surveyor #7452



# Plat of Survey

City of Newark, County of Licking, State of Ohio, part Lot 2 & Lot 8 of the Second Quarter, Section 2, Township 2N, Range 12W, of the United States Military Lands.

## PROPERTY LOCATION:

Situated in the City of Newark, County of Licking, State of Ohio, and being part of Lot 2 & Lot 8 in the Second Quarter, Section 2, Township 2N, Range 12W, of the United States Military Lands.

Being a Survey of a 5.138 Acre parcel conveyed to Eric W. Skipper, as recorded in Instrument No. 2021-11100034525 the Licking County Deed Records, and being all of Auditor's P.P.N. 054-269904-00.000.

Subject to the Flood Zone 'AE' Plain, as per Community Panel No. 39089C03331, dated March 16, 2015, of the FEMA Maps of this area.

Shanghai Enterprises, LLC  
9.727 Acres  
Instrument No. 2020-12170034718

LOT 2

LOT 8

S 88°56'20" E 165.00'

S 50°05'24" E 150.00'

Tract 'B'  
3.648 Acres

Eric W. Skipper  
5.138 Acres  
Instrument No. 2021-11100034525

Tract 'A'  
1.490 Acres

T.J. Evans Foundation  
93.423 Acres  
Deed Book 782, Page 872

Newark Area Soccer Association, Inc.  
10.039 Acres  
Instrument No. 2020-12220035204

P.O.C.: IRON PIN FOUND AT NW CORNER  
LOG POND DRIVE (45' Wide)  
DEDICATION (P.B.17, Page 291)

## LEGEND

- - 3/4" o.d. Iron Pipe Found
- ⊙ - 5/8" x 30" long reinforcing bars w/ red cap stamped "S.A. England #S-7452"
- - 5/8" o.d. Iron Pin Found
- △ - Mag Nail Set

I hereby certify that an actual survey of the premises was made, and that this plat is correct to the best of my knowledge.

Date 2/1/22

Scott A. England, P.S.  
Ohio Registered Surveyor #S-7452

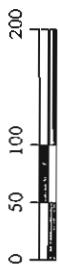
## PREPARED BY:

S.A. ENGLAND SURVEYING  
Professional Land Surveying  
P.O. Box 1770  
Buckeye Lake, Ohio 43008  
PHONE: 740-323-0644  
email: saengland@surveyohio.com

## BASIS OF BEARING

The bearings of this plat are based on the South line of Lot 2, as being N 88°56'20" W, and is an assumed Meridian used to denote angles only.

Graphic Scale

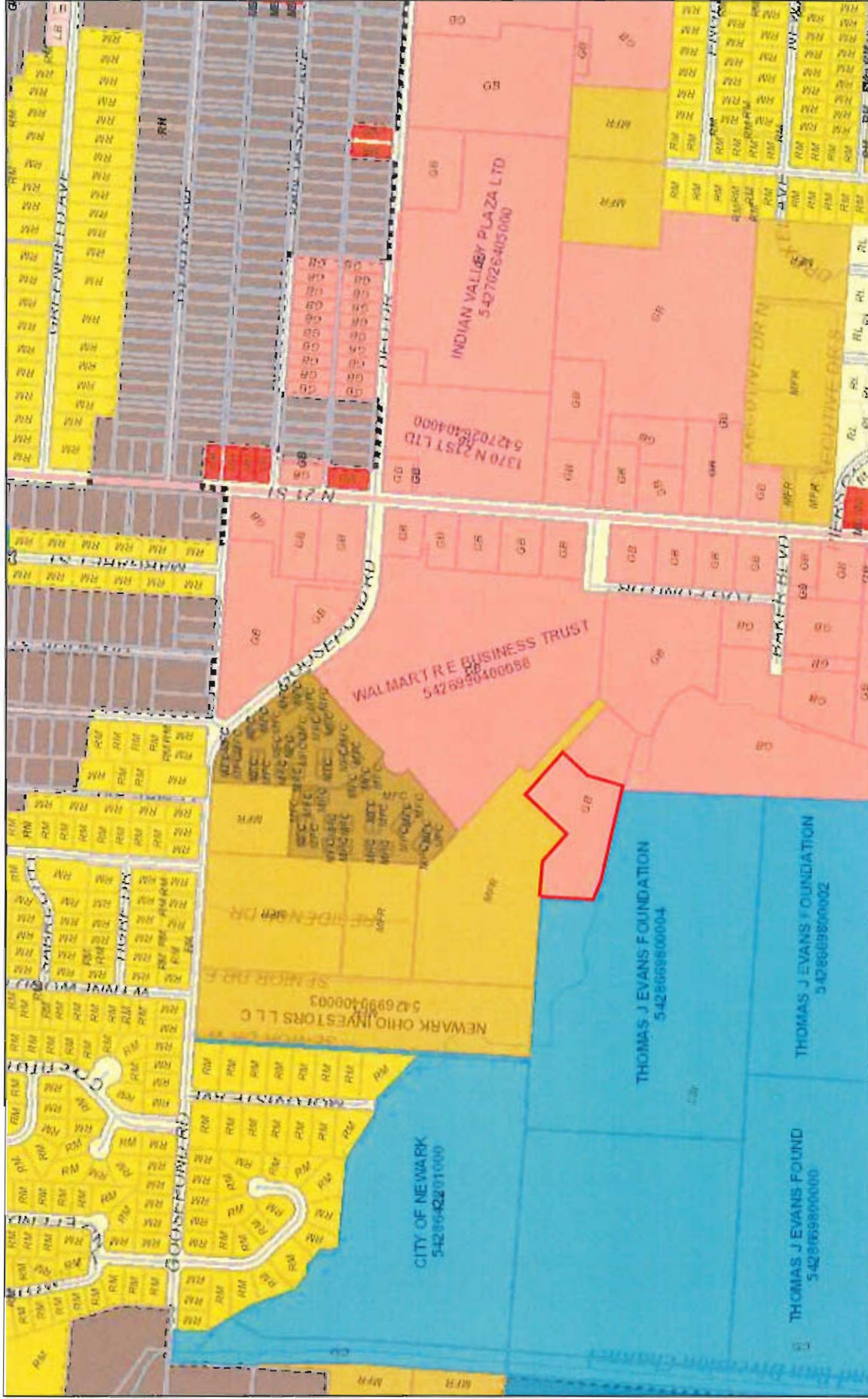


1 Inch = 100 Feet





# Proposed Zoning Change - 1303 Log Pond Dr



February 10, 2022

1:7,200  
 0 330 660 1,320 ft  
 0 100 200 400 m  
 1 in = 600 ft



Planning Commission  
c/o Engineering Department  
40 West Main St, 2<sup>nd</sup> Floor  
Newark, Ohio 43055  
(740) 670-7727  
(740) 349-5911 Fax

**City of Newark**  
**Planning Commission**  
**Zoning District Change Application**

[www.newarkohio.net/government/boards-commissions/planning-commission](http://www.newarkohio.net/government/boards-commissions/planning-commission)

**Office Use Only**

Zoning File # \_\_\_\_\_  
PC Application # PC-22-08  
Date Received: 2-2-22  
Received by: PCO  
Amount Due: \$100.00  
Paid By: (circle one)  
Check # 125 Cash  
Receipt # 537123

Rev 2/13

<input checked="" type="checkbox"/> District Change		<input type="checkbox"/> District Establishment (Newly Annexed)	
<b>Owner</b>			
Property Owner: SokoMac Investments, LLC		Telephone: (860) 490-4822	
Address: 5019 Clancy CT		E-mail: conradsokolowski@yahoo.com	
City: Columbus	State: Ohio	Zip: 43230	Fax:
I would prefer to have agendas mailed rather than e-mailed <input type="checkbox"/>			
<b>Applicant/Representative</b>			
Representative: Conrad Sokolowski		Same as above <input checked="" type="checkbox"/>	Telephone: (860) 490-4822
Address: 5019 Clancy CT		E-mail: conradsokolowski@yahoo.com	
City: Columbus	State: Ohio	Zip: 43230	Fax:
I would prefer to have agendas mailed rather than e-mailed <input type="checkbox"/>			
<b>Property Location</b>			
Street Address: 170 Riverview Dr   Newark   OH   43055			
Parcel Tax ID #: 054-276750-00.000 & 054-270288-00.000		Number of Acres: 1.67	
Lot Number: (if applicable) 29 & 30		Property Platted? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> (Two Parcel Lot)	
<b>District Classification</b> (Zoning Code 08-33, see <a href="http://www.newarkohio.net">www.newarkohio.net</a> )			
<b>Present Zoning District:</b>		<b>Proposed Zoning District:</b>	
<input type="checkbox"/> AD Agricultural		<input type="checkbox"/> AD Agricultural	
<input type="checkbox"/> CD Conservation		<input type="checkbox"/> CD Conservation	
<input type="checkbox"/> CSI Church School Institutional		<input type="checkbox"/> CSI Church School Institutional	
<input type="checkbox"/> DC Downtown		<input type="checkbox"/> DC Downtown	
<input checked="" type="checkbox"/> GB General Business		<input type="checkbox"/> GB General Business	
<input type="checkbox"/> GC General Commercial		<input type="checkbox"/> GC General Commercial	
<input type="checkbox"/> GI General Industrial		<input type="checkbox"/> GI General Industrial	
<input type="checkbox"/> GO General Office		<input type="checkbox"/> GO General Office	
<input type="checkbox"/> HB High Intensity Business		<input type="checkbox"/> HB High Intensity Business	
<input type="checkbox"/> LB Limited Intensity Business		<input type="checkbox"/> LB Limited Intensity Business	
<input type="checkbox"/> LC Limited Commercial		<input type="checkbox"/> LC Limited Commercial	
<input type="checkbox"/> LI Limited Industrial		<input type="checkbox"/> LI Limited Industrial	
<input type="checkbox"/> LO Limited Office		<input type="checkbox"/> LO Limited Office	
<input type="checkbox"/> MB Medium Intensity Business		<input type="checkbox"/> MB Medium Intensity Business	
<input type="checkbox"/> MFC Multi-Family Condo		<input type="checkbox"/> MFC Multi-Family Condo	
<input type="checkbox"/> MFH Multi-Family High Rise		<input type="checkbox"/> MFH Multi-Family High Rise	
<input type="checkbox"/> MFR Multi-Family Residence		<input checked="" type="checkbox"/> MFR Multi-Family Residence	
<input type="checkbox"/> Overlay Historic		<input type="checkbox"/> Overlay Historic	
<input type="checkbox"/> Planned Unit Development		<input type="checkbox"/> Planned Unit Development	
<input type="checkbox"/> RMH Single-Family Residence Manufactured Home		<input type="checkbox"/> RMH Single-Family Residence Manufactured Home	
<input type="checkbox"/> Single-Family Residence (Circle one)		<input type="checkbox"/> Single-Family Residence (Circle one)	
RS-Suburban RL-Low Density RM-Medium Density RH-High Density		RS-Suburban RL-Low Density RM-Medium Density RH-High Density	
<input type="checkbox"/> RZL Single-Family Residence Zero Lot Line		<input type="checkbox"/> RZL Single-Family Residence Zero Lot Line	
<input type="checkbox"/> SFC Single-Family Condo		<input type="checkbox"/> SFC Single-Family Condo	
<input type="checkbox"/> TFR Two-Family Residence		<input type="checkbox"/> TFR Two-Family Residence	

Flood: A/AE



**Property Use**

Present Use: Vacant Lots

Proposed Use:  
Two-Story Multi Family Residence  
24-30 units**Additional Comments****Reason For Request:**

As rezoning is required to construct multi-residence structure, which neighbors and owners are highly in favor of as opposed to a business establishment.

**Required Documentation and Process Overview**

- ☒ Original Application Form – must contain notarized signature of the property owner
- ☒ Tax Map and Auditor's Parcel Numbers for the parcels to be re-zoned. Contact the Licking County Engineer's Office for a tax map or visit <http://www.lcounty.com/Treasurer> to print out Real Estate Tax parcel information and a parcel map. Licking County Engineer's Office is located at 20 South 2<sup>nd</sup> St (3<sup>rd</sup> Floor) Newark, OH 43055 (740) 670-5280.
- ☒ Legal Description of parcels to be re-zoned. (typically a survey description or valid deed description)  
*Note:* Legal Description must be reviewed and stamped approved by the Newark City Engineering Department
- ☒ A drawing or map showing the location of all buildings on the parcels. (A current Google aerial photo is acceptable.)
- ☒ Application Fee of \$100.00, cash or check. Make check payable to "City of Newark".
- ☒ Call the Newark City Engineering/Zoning Department to schedule a Zoning and Legal Description Review. Newark City Engineering/Zoning Department is located at 40 W. Main Street (2nd Floor) Newark, OH 43055 (740) 670-7727  
*Note:* an Engineering/ Zoning Authorization Signature is required on this application. See below.
- ☒ Submit all application materials to the Newark City Engineering/Zoning Department for inclusion on a Planning Commission Agenda.
- ☒ Attend the Planning Commission Meetings and Council Meetings held in Newark City Council Chambers, 40 W. Main Street (1<sup>st</sup> Floor) throughout the process. The process typically takes 3 -4 months to complete.  
*Note:* be prepared to answer Planning Commission and Council Member's questions regarding your application

**Owner Acknowledgement**

I hereby certify that the information provided in this application is true and factual to the best of my knowledge.

Property Owner Signature: 

Date February 1, 2022

Sworn and subscribed before me this 1<sup>st</sup> day of February, 2022

My Commission Expires: May 8, 2023

Notary Public

DAWN M. GRUBIN  
Notary Public, State of Ohio  
Comm. Expires May 08, 2023  
Ordained in Franklin County  
2-1-2022

**Engineering/Zoning Authorization – Office Use Only**Approved ☒Denied ☐Representative Signature: 

Date: 2/6/2022

Comments/Conditions:

Approved with Conditions ☐

Date: 2/6/2022

**Planning Commission Recommendation to Council – Office Use Only**Approved ☐Denied ☐Approved with Conditions ☐

(See Letter of Recommendation)

Planning Director Signature:

Date:

Conditions:

**After Planning Commission Recommendation:**

- ☐ Contact the Clerk of Council regarding Council Public Hearing Date and Final Vote.  
Clerk of Council's Office is located at 40 W Main St (2nd Floor) Newark, OH 43055 (740) 670-7516.

DESCRIPTION APPROVED  
JARED N. KNERR  
LICKING COUNTY ENGINEER

Approved By JW Oct 26, 2021

02121194804093012000

02121194804093011000

TRANSFERRED

Oct 26, 2021  
Michael L. Smith  
LICKING COUNTY AUDITOR  
SEC 319.902 COMPLIED WITH  
MICHAEL L. SMITH  
By: CR 180.00

InstrID:202110260032745	10/26/2021
Pages:2	P: \$34.00 2:35 PM
Bryan A. Long	T20210032225
Licking County Recorder	

### GENERAL WARRANTY DEED

**JASON R. OFFENBAKER**, married to **MISTI OFFENBAKER**, for valuable consideration paid, grants, with general warranty covenants to **SOKOMAC INVESTMENTS, LLC, AN OHIO LIMITED LIABILITY COMPANY**, the following real property:

Situated in the State of Ohio, County of Licking: Being Lot Numbers 29 and 30 in Stephan's Riverview Addition to the City of Newark, Ohio, according to the Plat of said Addition recorded in Volume 4, at Pg. 93-94, of the Plat records of Licking County, Ohio, to which reference is here had and made for Greater Certainty of description.

Tax Mailing Address: 5019 Clancy Ct., Gahanna, OH 43230

Subject to restrictions contained on the plat, deed, covenants, conditions, and restrictions, or other documents noted in a Title Search Report.

Permanent Parcel Number: 054-270288-00.000 & 054-276750-00.000

Prior Instrument Reference: 201712220028146

Property Address: 170 Riverview Drive, Newark, OH 43055


LEGAL Description

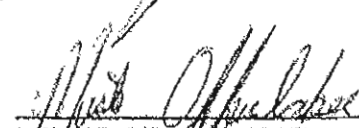
DISCREPANCY  
APPROVED  
for Zoning  
Amendments  
by [Signature]  
Dir. of Engineering  
City of Newark, Ohio



**MISTI OFFENBAKER**, spouse of **JASON R. OFFENBAKER**, releases all rights of dower therein.

Executed by **JASON R. OFFENBAKER** and **MISTI OFFENBAKER**, the 25<sup>th</sup> day of OCTOBER, 2021.

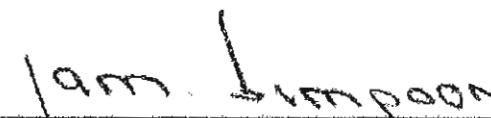
  
\_\_\_\_\_  
**JASON R. OFFENBAKER**

  
\_\_\_\_\_  
**MISTI OFFENBAKER**

State of Ohio  
County of Columbiana

This is an acknowledgment clause. No oath or affirmation was administered to the signer.

The foregoing instrument was acknowledged before me this 25<sup>th</sup> day of OCTOBER, 2021 by **JASON R. OFFENBAKER** and **MISTI OFFENBAKER**.

  
\_\_\_\_\_  
NOTARY PUBLIC

This document was prepared by:  
Matt W. Trivelli  
Sandhu Law Group, LLC  
1213 Prospect Ave., STE 300  
Cleveland, OH 44115  
(216) 373-1001  
2021-10-0631-158756



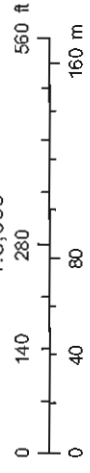
James P. Simpson  
Notary Public, State of Ohio  
My Commission Expires 03/07/2026

# Proposed Zoning Change - 170 Riverview Dr



February 8, 2022

1:3,000



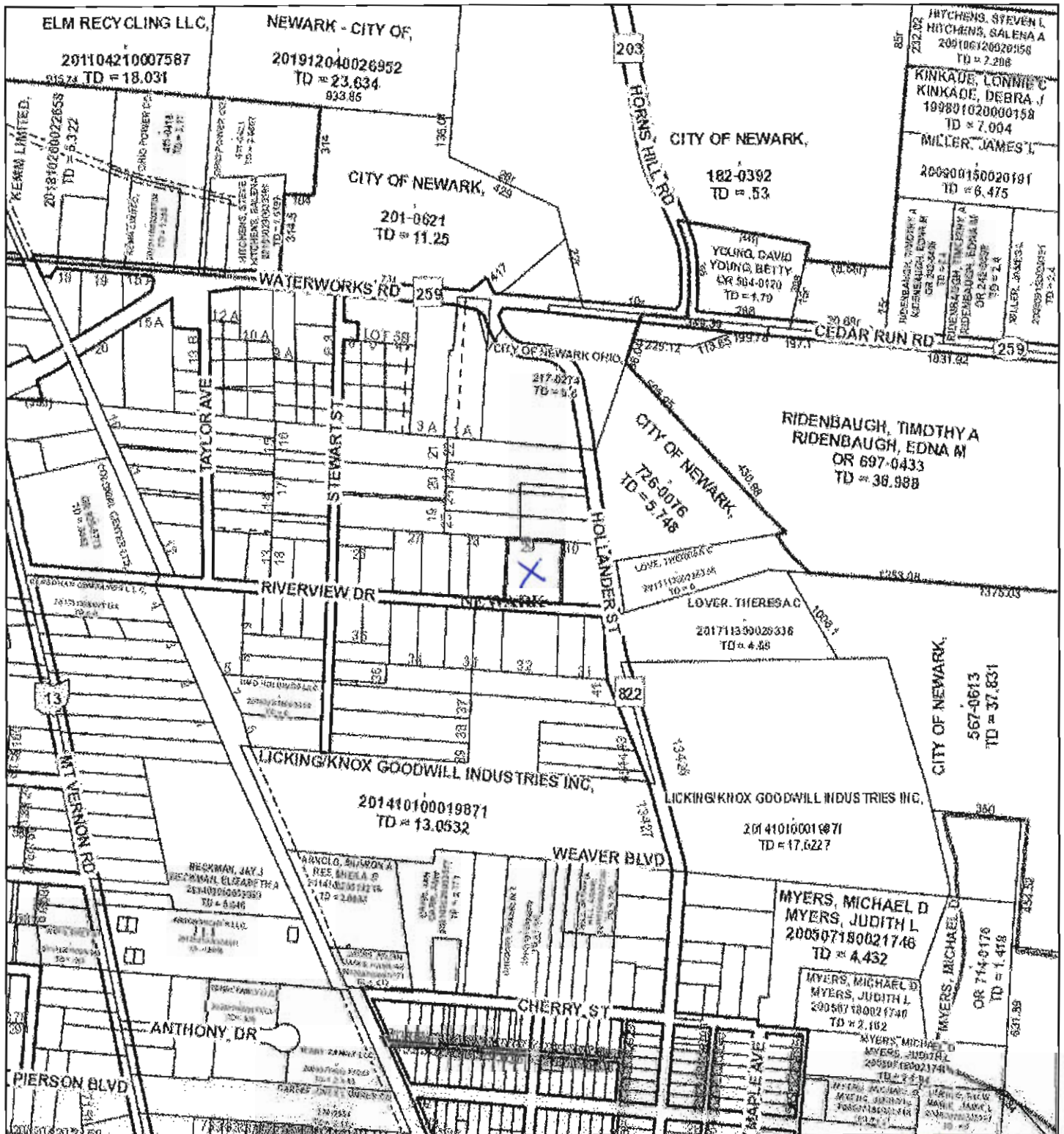
Lot#29

Address		
N/A SOKOMAC INVESTMENTS LLC -- 170 RIVERVIEW DR		
Engineer's Pin	Owner	Auditor's PIN
02121194804093012000	N/A SOKOMAC INVESTMENTS	054-270288-00.000
Tax Acreage	Deed Acreage	Official Record
0	0	202110260032745

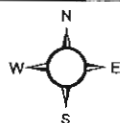
Parcel# 054-270288-00.000



LOT #29



February 1, 2022



0 500 Feet  
0.09 Miles

LICKING COUNTY TAX MAP

Property Report

LOT #30

Address		
N/A KOKOMAC INVESTMENTS LLC -- 170 RIVERVIEW DR		
Engineer's Pin	Owner	Auditor's PIN
02121194804093011000	N/A KOKOMAC INVESTMENTS	054-276750-00.000
Tax Acreage	Deed Acreage	Official Record
0	0	202110260032745

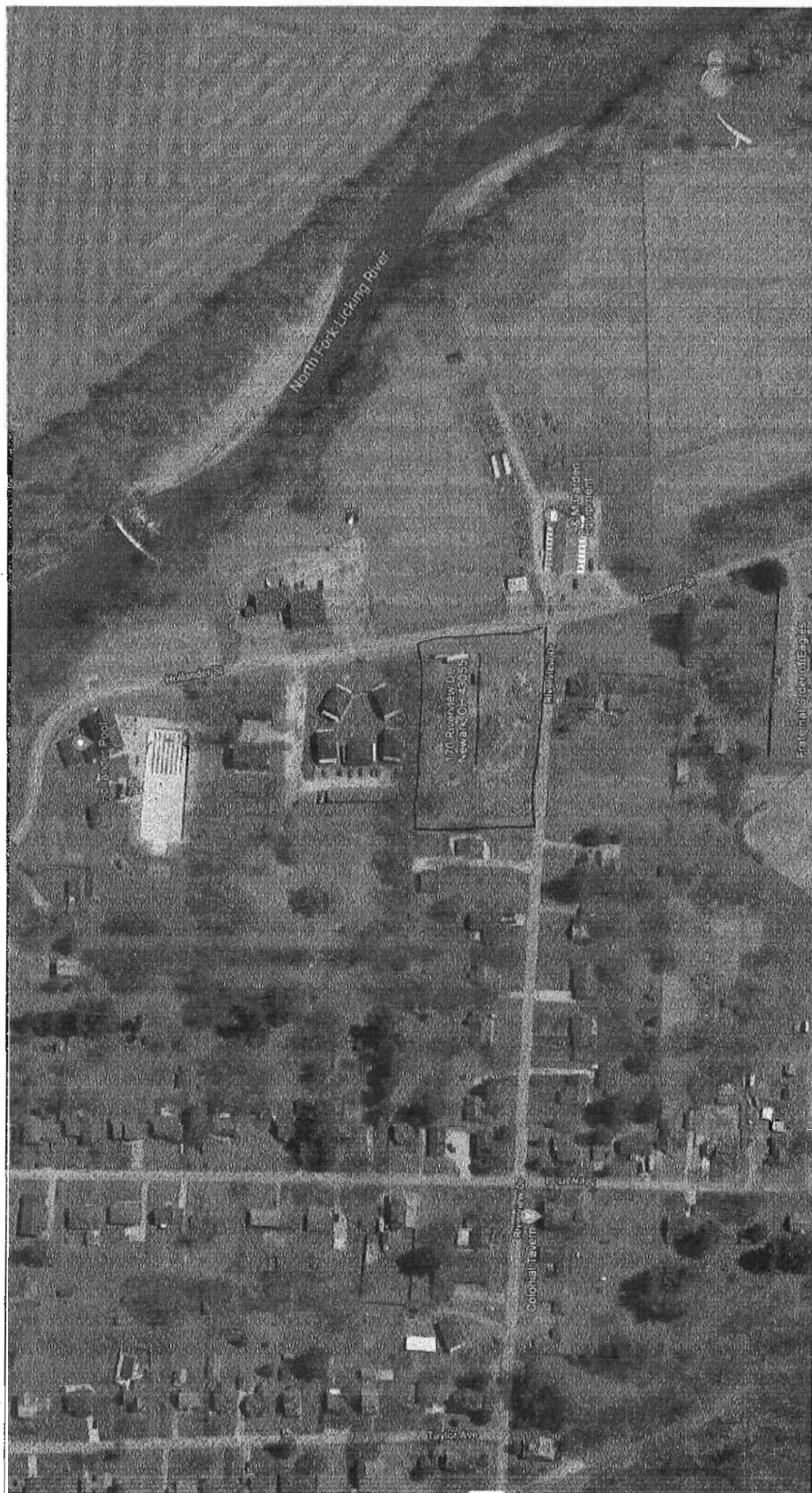
Parcel # 054-276750-00.000



[illegible]

LICKING COUNTY TAX MAP





AERIAL VIEW #1



# SITE STUDY - CONCEPT "E"

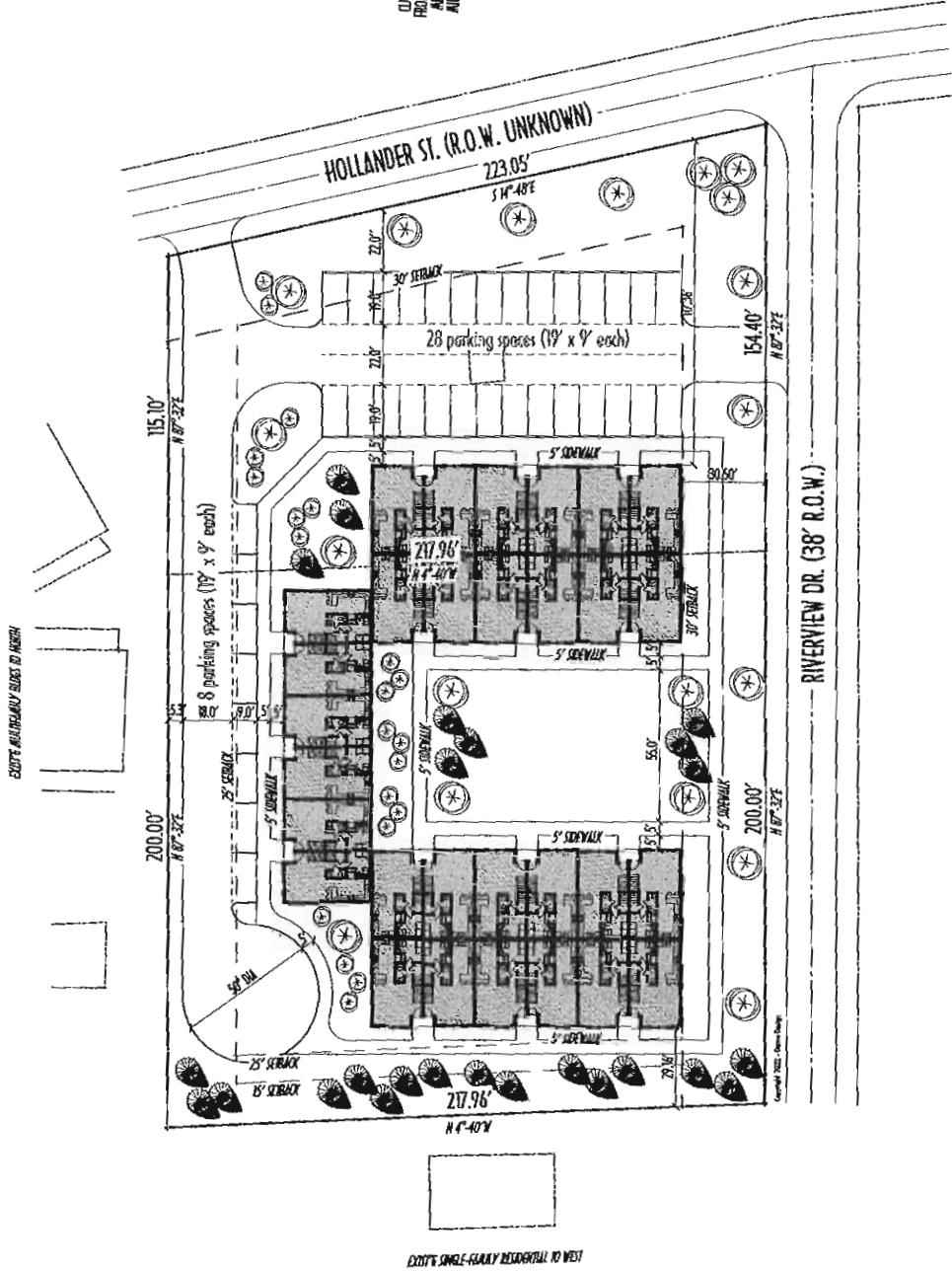
SCALE: 1" = 40'-0" JANUARY 31, 2022

770 RIVERVIEW DRIVE  
PARCEL #55-270288-00.000 &  
PARCEL #55-270289-00.000  
CITY OF NEWARK  
LOCKING COUNTY GRID

CB - GENERAL BUSINESS DISTRICT  
37  
15  
25

CURRENT ZONING  
FRONT SETBACKS  
MIN. SIDEWAYS  
MIN. REAR YARD:

TOTAL OF 3 TWO-STORY BUILDINGS: 10 UNIT IN-LINE & 22 UNIT BACK-TO-BACK  
30 TOTAL RESIDENTIAL UNITS (MAX OF 18 2 BEDROOMS, 12 D.)  
36 STANDARD PARKING UNITS (WILL NEED TO INCLUDE H/C SPACES AT SOME POINT)  
LANDSCAPING SHOWN FOR REFERENCE ONLY - FINAL LANDSCAPE DESIGN (S.D.) BY OTHERS  
SIDEWALKS / LANDSCAPE SHOWN FOR REFERENCE ONLY - FINAL DESIGN (S.D.) BY OTHERS



- Proposed Structure -  
(Approximate)



## CITY OF NEWARK PLANNING COMMISSION STAFF REPORT

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### APRIL 12, 2022 PLANNING COMMISSION MEETING

#### Application:

1. ***FILE 21-366: SITE PLAN FOR NEW POLE BUILDING STRUCTURE AT THE WORKS, 52-56 SOUTH 1ST STREET***

#### Staff Report & Recommendations:

##### **Overview:**

The applicant intends to build a 24' x 30' pole building structure for storage of equipment.

The Site Plan Review Committee submitted comments on 4/7/2022 regarding this application. Reviewers included:

- Mark Mauter, Development Director
- Brandon Metzger, Acting Fire Chief
- Bruce Gossett, Aaron Holman, NFD
- Craig Riley, Deputy Police Chief
- Roger Loomis, Utilities Superintendent
- Adam Bernard, Utilities Engineer
- Lindsey Brighton, Stormwater Utility
- Nick Shultz, Street and Traffic Engineer
- Don Hiltner, Senior Engineer
- Brian Morehead, City Engineer
- George Carter, Zoning Inspector

##### A. Zoning District:

This site is zoned Downtown Commercial District (DC); the proposed use is a permitted use.

**Flood Zones:** None of this site is located in any of the Flood Plain areas.

##### B. Safety Division Review:

The Police Division and Fire Division have no issues with the proposed structure.

##### C. Height Restrictions:

There are no height restrictions in the DC District.

##### D. Lot Area & Setbacks:

Parcel is approximately 17,860 S.F. +/-, with 24% building coverage, which meets the lot area requirements of 100% maximum coverage.

The distance between buildings is proposed to be 20 feet, and 25' is required; a variance from BZA will be needed, or the building location can be shifted to meet the requirement.

##### E. Off-Street Parking & Loading:

Code requires 0 parking spaces for the entire development on this site, and no new spaces are specifically proposed.





## CITY OF NEWARK PLANNING COMMISSION STAFF REPORT

---

F. Corner Lots:

There are no structures proposed in the corner lot areas.

G. Landscaping, Buffering & Greenspace:

The landscaping requirement consists of 0 +/- SF of green space and 0 SF of ground cover required by the Zoning Code. In addition, 0 trees are required on the site. No landscaping plan has been submitted at this time.

H. Public & Private Roadways – Access Management:

No new driveway approaches are planned with this structure.

I. Site Signage:

No additional signage has been submitted with the proposal.

J. Traffic Control / Street / Right-of-Way Issues:

No comments on these items.

K. Engineering / Utilities:

No new utilities are proposed for this structure. There is no impact to the stormwater runoff, as the existing site has impervious surface, which is being replaced by roof area.

L. Other Standards/Regulations

No other comments at this time.

**Recommendations:**

This proposal meets all of the technical requirements. On that basis, staff recommends approval of the Site Plan for this structure, contingent upon:

1. BZA variance for distance between buildings, or
2. Shift building location to meet distance requirement

If approved by Planning Commission, the zoning certificate will be granted.

**Planning Commission Action on Recommendation:**

\_\_\_\_\_ Approved As Submitted

\_\_\_\_\_ Approved As Noted, With Contingencies

\_\_\_\_\_ Denied

---

Planning Director

Date





Post Frame Buildings

12149 Gower Road, Glenford, OH 43739

(740) 659-1480 (740) 659-1481 (Fax)

[www.grabersoakflooring.com](http://www.grabersoakflooring.com)

Hardwood Flooring ● Pole Building Packages ● Building Materials ● Generators and Power Equipment ● Kitchen Cabinets ●  
Countertops ● Vinyl Siding ● Custom Wood Trim ● 40 Year, Standing Seam, G-Rib and Corrugated Metal

**June 28, 2021**

**24' x 30' x 12' Pole Building Package (Details)**

Details:

Vented Ridge

12" Roof Overhang on Eave Sides with Vented Steel Soffit

12" Roof Overhang on Gable Ends with Solid Steel Soffit

4/12 Pitch Roof

4' O.C. Trusses

Footers Not Included\*\*\*

4x6 Treated Post, 8' o.c.

2x10 Top Headers, Double Plated

(2) Rows 2x6 T&G Ground Contact Grade Boards

24" O.C. 2X4 Nail Girths on sides

24" O.C. 2x4 Perlins on Roof

#1 40yr 29 Gauge G-Rib Metal Roofing

#1 40yr 29 Gauge G-Rib Metal Siding

Single Bubble Reflective Vapor Barrier under Metal Roof

(1) Garage Door, Insulated Metal Back, CHI Model 2283, 12' x 10'

(1) 36" Steel Entry Door, With Lock Set

Job Name: Justin Finhout

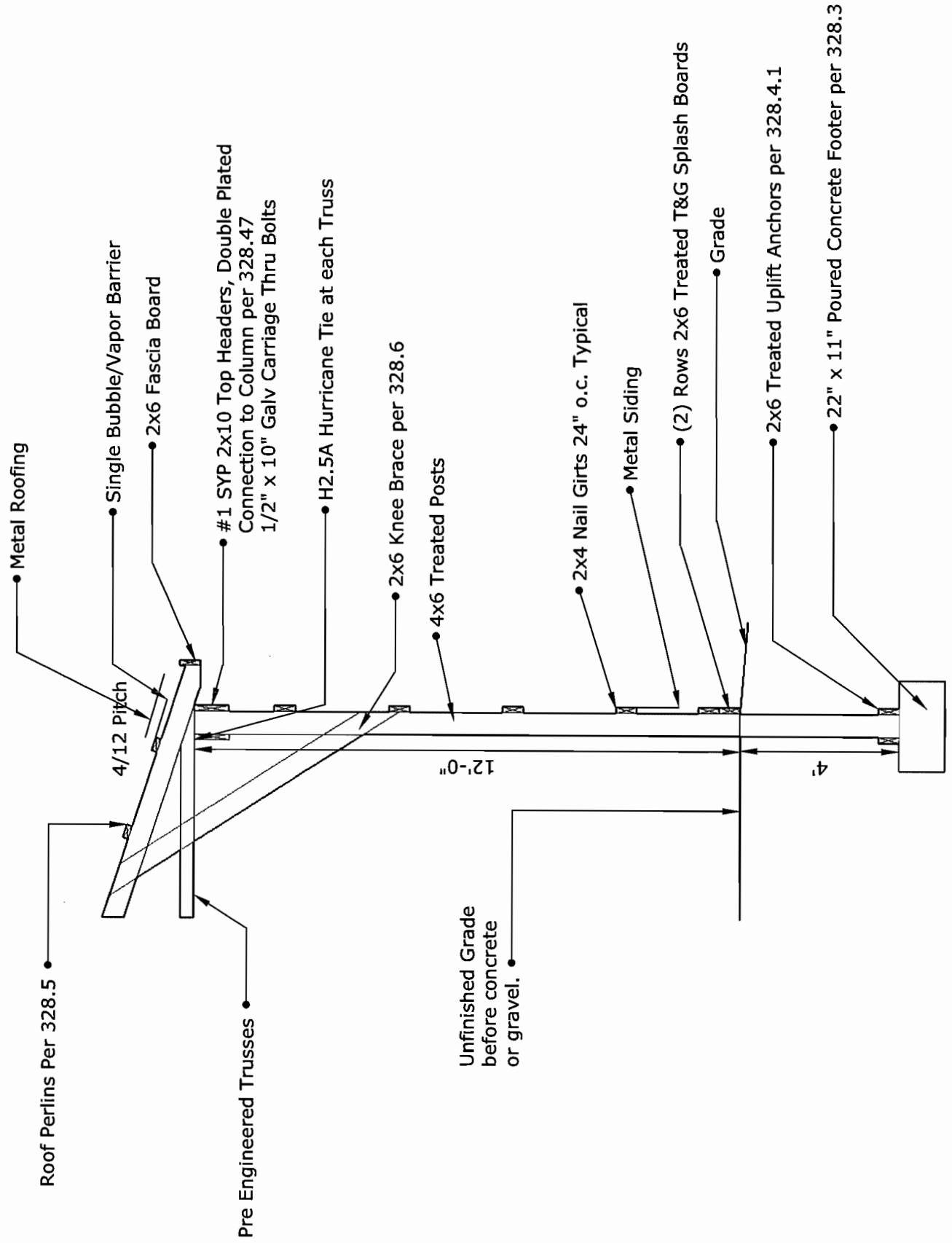
Phone:

Email: [justinfinhout@attheworks.org](mailto:justinfinhout@attheworks.org)

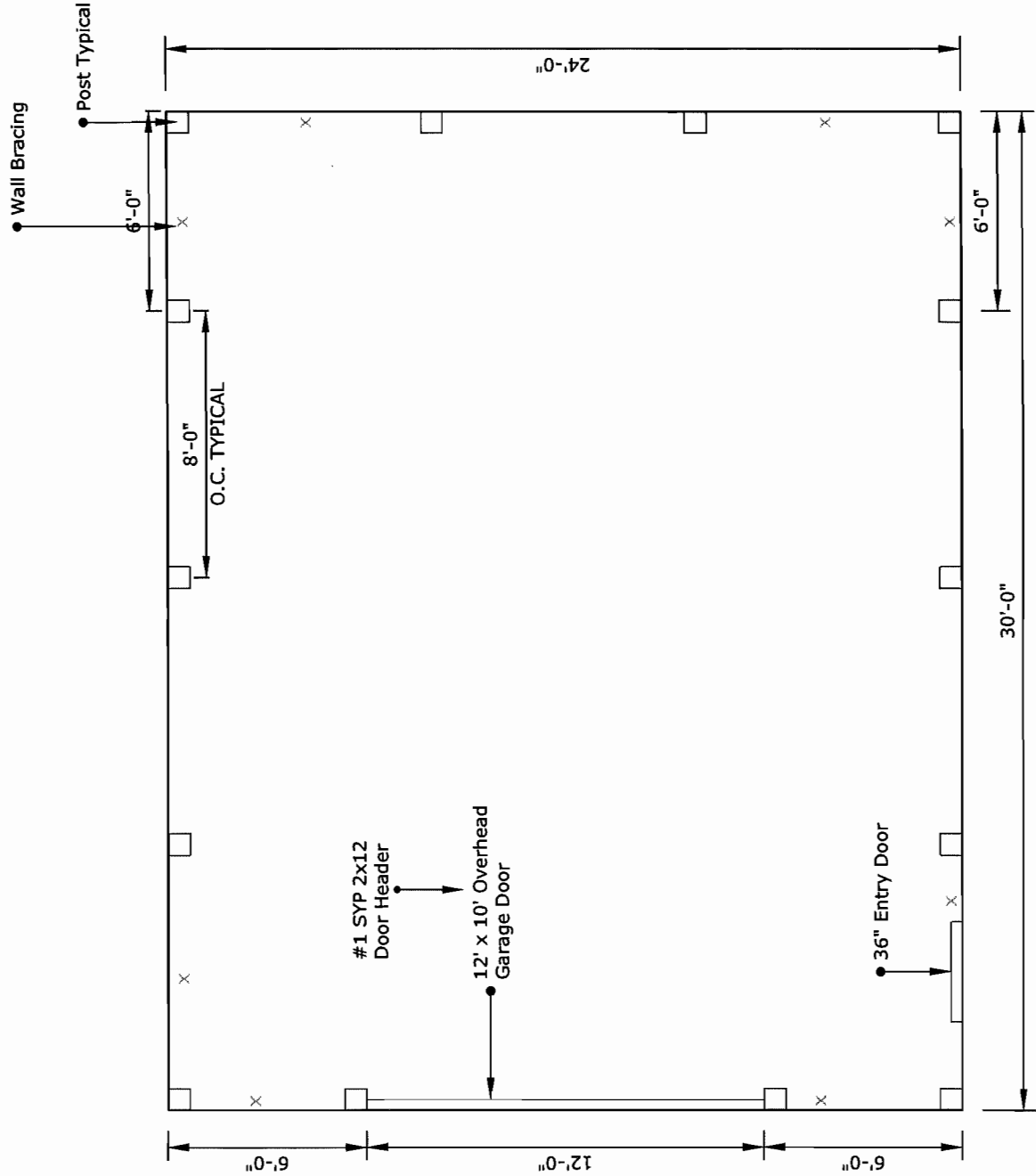
Location: 55 S First St Newark, OH 43055



# Wall Section



# Justin Finehout Floor Layout





## **CITY OF NEWARK PLANNING COMMISSION STAFF REPORT**

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### **APRIL 12, 2022 PLANNING COMMISSION MEETING**

#### **Application:**

1. ***PC-22-16: SITE PLAN FOR NEW APARTMENT DEVELOPMENT AT 204 LAVERNE ROAD***

#### **Staff Report & Recommendations:**

##### **Overview:**

The applicant intends to build 7 - 2-unit multi-family apartment buildings (7 – 2 bedroom units, 7 – 3 bedroom units) at the west end of Laverne Road.

The Site Plan Review Committee submitted comments on 4/6/2022 regarding this application. Reviewers included:

- Mark Mauter, Development Director
- Brandon Metzger, Acting Fire Chief
- Bruce Gossett, Aaron Holman - NFD
- Craig Riley, Deputy Police Chief
- Roger Loomis, Utilities Superintendent
- Adam Bernard, Utilities Engineer
- Lindsey Brighton, Stormwater Utility
- Nick Shultz, Street and Traffic Engineer
- Don Hiltner, Senior Engineer
- Brian Morehead, City Engineer
- George Carter, Zoning Inspector

##### **A. Zoning District:**

This site is zoned Multi Family Residential District (MFR); the proposed use is a permitted use.

**Flood Zones:** None of this site is located in any of the Flood Plain areas.

##### **B. Safety Division Review:**

The Police Department and Fire Division have expressed no concerns at this time.

##### **C. Height Restrictions:**

The proposed Buildings 2 – 7 shown on the elevation drawings are two story and the proposed 29' heights meet the requirements in this district. Proposed Building 1 will not meet the height requirement of 40', due to the 17' change in ground elevation from front to rear of the building, unless another type of structure is proposed.

##### **D. Lot Area & Setbacks:**

Parcel is approximately 87,120 S.F. +/-, with 15% building coverage, which meets the lot area requirements. The frontage requirement is a minimum of 75', and this property frontage is 50' on the dead end of Laverne Road, created by the previously approved lot splits. The proposed Building 3 and





## CITY OF NEWARK PLANNING COMMISSION STAFF REPORT

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- Building 4 have only 14.6 feet between them, which does not meet the distance requirements, so this plan would require a variance approval from the Board of Zoning Appeals for these two items.
- E. Off-Street Parking & Loading:  
Code requires 42 parking spaces, and 44 spaces are proposed, which does meet the requirements.
- F. Corner Lots:  
No structures are proposed at this time in the lot corner area.
- G. Landscaping, Buffering & Greenspace:  
The landscaping requirement consists of 6000 +/- SF of green space (Lawn) and greater than 1500 SF of the green space area shall be ground cover (planting areas) as required by the Zoning Code. In addition, 8 trees are required on the site. A landscaping plan has not yet been submitted for review.
- H. Public & Private Roadways – Access Management:  
All of the proposed streets and driveways are privately owned and maintained by the development. The new private driveway into the development from Laverne Road is shown 20' wide. Fire Dept will need to review the detailed construction plans to ensure access for their trucks' turning radii.
- I. Site Signage:  
No development sign locations are shown on the site plan. Any development sign shall be submitted and will be reviewed separately.
- J. Traffic Control / Street / Right-of-Way Issues:  
Signage is needed to be installed to prohibit on-street parking, in order to provide clear access for emergency vehicles, fire lanes, etc.
- K. Engineering / Utilities:  
Engineering and Water staff will be reviewing the detailed water, sanitary and stormwater management plans; these have not yet been submitted.

Water: Water is available in the Laverne Road right-of-way, but would need to be extended onto the site. Water meter configuration will need to be discussed in order to determine the water and sewer capacity and tapping fees.

Sanitary Sewer: Our records show a 6' sanitary sewer on this site, in between 2 sections of 8 "sanitary sewer, which would likely create a surcharge situation with the additional proposed load of this development. This needs further investigation, and will likely require upgrade of the existing 6' pipe to 8" pipe.



## CITY OF NEWARK PLANNING COMMISSION STAFF REPORT

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Stormwater: There has been no stormwater management plan submitted, and this shall be submitted and reviewed prior to zoning approval. There needs to be a careful look at the stormwater runoff from this site (including the 3 existing apartment buildings and parking lot), as we have had many calls from the adjacent properties over the years with complaints about runoff. There may need to be off-site construction by the developer to take care of the drainage.

Are the proposed water and sewer mains proposed to be public or private? Engineering will follow up for review of the construction plans and compliance prior to construction.

**L. Other Standards/Regulations**

The City should be provided with copies of the easements for access, utilities and stormwater use, as they are required, and the City needs to have a clear understanding of those rights and maintenance responsibilities of those facilities.

**Recommendations:**

This proposal meets all of the technical requirements. On that basis, staff recommends conditional approval of the Site Plan for the 204 Laverne Apartments development in order to grant Zoning approval of the site, provided the following issues are addressed:

1. BZA variance approval for frontage and distance between buildings.
2. Landscaping plan / requirements submitted and approved.
3. Any of the remaining issues listed above will be addressed on the final construction plans. Compliance with City's Stormwater Management requirements.

If approved by Planning Commission, the zoning certificate will not be granted until the above conditions are resolved / met.

**Planning Commission Action on Recommendation:**

\_\_\_\_\_ Approved As Submitted  
\_\_\_\_\_ Approved As Noted, With Contingencies  
\_\_\_\_\_ Denied

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Planning Director

Date





For Construction

ADDENDUMS

ADDENDUM NO.	ADDENDUM DATE	ISSUED BY

UNDERGROUND UTILITIES

CONTACT BOTH SERVICES  
CALL TWO WORKING DAYS  
BEFORE YOU DIG  
CALL  
1-800-362-2764  
(TOLL FREE)  
OHIO UTILITIES PROTECTION SERVICE  
NON-MEMBERS  
MUST BE CALLED DIRECTLY  
OIL & GAS PRODUCERS PROTECTIVE  
SERVICE CALL 1-800-925-0988

ZONING- MFR

SETBACKS

FY- 25'

SY- 17'

RY- 45'

PARKING

7- 380 = 5X3.5= 17.5 SPCS

7- 280 = 5X2.5= 12.5 SPCS

TOTAL 42 SPCS

44 SPCS PROVIDED



BAR SCALE  
0 10 20 40  
( IN FEET )  
1 inch = 20 ft.

REVISIONS

REV. NO.	DESCRIPTION

DRAWN LP/TW

CHECKED TW

Job No. 21224

CITY OF NEWARK, LICKING, OHIO

PRELIMINARY

Project 204 LAVERNE AVE  
APARTMENTS-4

Sheet Name Site Plan

Scale: 1" = 20' Date: 3/9/2022

WILLIS ENGINEERING & SURVEYING  
12512 West Bank Drive  
Millsport, OH 43046  
(740) 739-4030

Sheet 1



- NOTE: Except for steel beams &/or headers, Structural shown for design intent only  
Refer to manuf. supplied structural sheets for all joists, beams, headers, and rafters sizes and locations.



## C. David Johnson

### A.I.A. ARCHITECT

"Overture to cattle..."

email: edward@ajohnson.com  
cell: 312-335-2266

studio: 111 W. Henderson Rd.  
Columbia, Ohio 43214

Architectural Plans, Land Planning,  
Landscape, Site & Environmental Planning

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A20

book/CD/DVD prices  
scale: 1/2" = 1'-0"

print data: 3-6-22

print url: revsd.1/41/ layouts revsion 501



PRINT DATES

DATE:	TYPE:
2-11-22	1/4" layouts review set
2-20-22	1/4" layouts review set

STATE OF OHIO

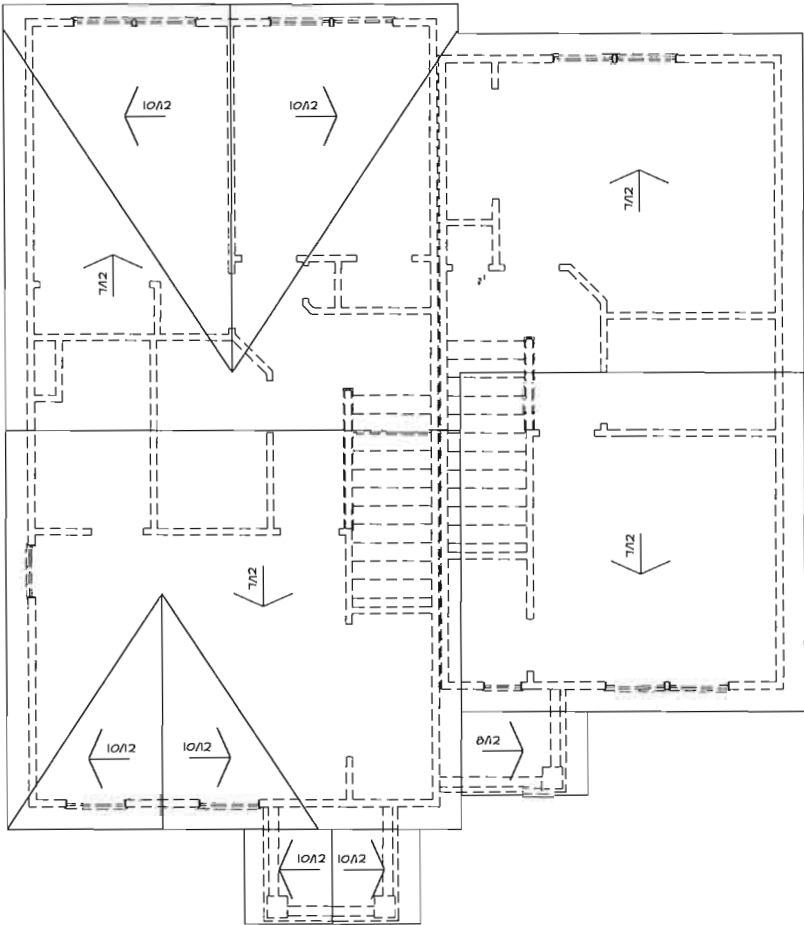
C. David Johnson License # 9158

9158

REGISTERED ARCHITECT

C. David Johnson License # 9158

Expiration Date 12-31-23



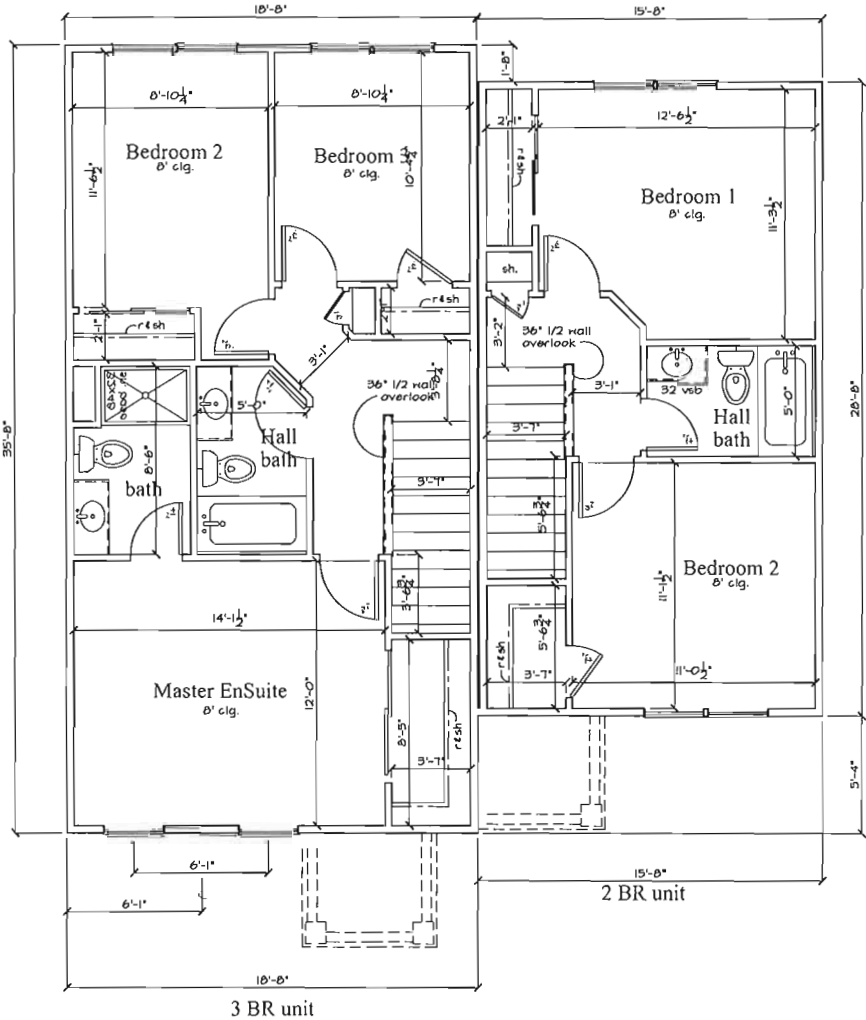
E ROOF PLAN

A2.1

Scale: 1/4" = 1'-0"

NOTE: ROOF SHEATHING SHALL BE SUPPORTED WITH BLOCKING OR EDGE CLIPS WHEN RAFTERS OR TRUSSES ARE 24" O.C. OR GREATER.

PROVIDE ICE GUARD PROTECTION AT ALL VALLEYS AND REG'D. 24" DISTANCE FROM EXT. WALL • EAVES TYP.



A 2nd floor plan

A2.1

Scale: 1/4" = 1'-0"

6'8" tall doors (typ.)

- GENERAL NOTES
1. TRUSSES SHALL BE DESIGNED BY STRUCTURAL ENGINEER REGISTERED IN THE STATE OF OHIO. TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATION FOR WOOD AND THE TRUSS PLATE INSTITUTE RECOMMENDED PRACTICE OF DESIGN TPI-B5. ROOF TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING LOADS:

TOP CHORD LIVE LOAD = 25 PSF

TOP CHORD DEAD LOAD = 10 PSF

BOTTOM CHORD LIVE LOAD = 5 PSF

BOTTOM CHORD DEAD LOAD = 5 PSF

TOTAL LOAD = 45 PSF

2. TRUSS MANUFACTURER SHALL FIELD MEASURE EXISTING FRAMING PRIOR TO FABRICATION FOR VERIFICATION OF DIMENSION REQUIREMENTS

3. TRUSS MANUFACTURER SHALL PROVIDE SHOP DRAWINGS FOR BUILDER'S REVIEW AND APPROVAL PRIOR TO MANUFACTURING.

4. TRUSS MANUFACTURER TO DESIGN AND DETAIL ALL REQUIRED CONNECTIONS.

5. PROVIDE ONE HURRICANE CLIP AT END OF EACH TRUSS TIE TO TOP PLATE

6. REFER TO SHEET S25 FOR TRUSS PROFILES.

7. PROVIDE (2) 2X4'S JACK STUDS GLUE & NAIL AT EACH BEARING HEADER, UNLESS NOTED OTHERWISE

8. PROVIDE (2) 2X12'S W/ 1/2" PLY-WD FILLER HEADER AT EACH LOAD BEARING WALL OR EXTERIOR WALL LOCATION, UNLESS NOTED OTHERWISE.

9. PROVIDE SOLID BLOCKING AT EACH AREA OF POINT LOAD ABOVE, AND AT LOCATIONS OF POST BEARINGS ABOVE.

Contractor: Stoneworks LLC  
contact: Bryan Lewis cell 740-975-6252  
Laverne Apartments  
204 Laverne Newark, OH  
3/2 BR Bedroom Hybrid Duplex Apt. Buildings total s.f.

C. David Johnson  
A.I.A.  
ARCHITECT

all drawings are preliminary and not for construction. If used for construction, the user assumes all liability for errors and omissions. No warranty is made by the architect.

2

2nd floor/roof plan  
Scale: 1/4" = 1'-0"

3-6-22

revised 1/4" layouts review set

PRINT DATES

DATE	TYPE
2-14-22	1/4" layouts review set
2-20-22	1/4" layouts review set

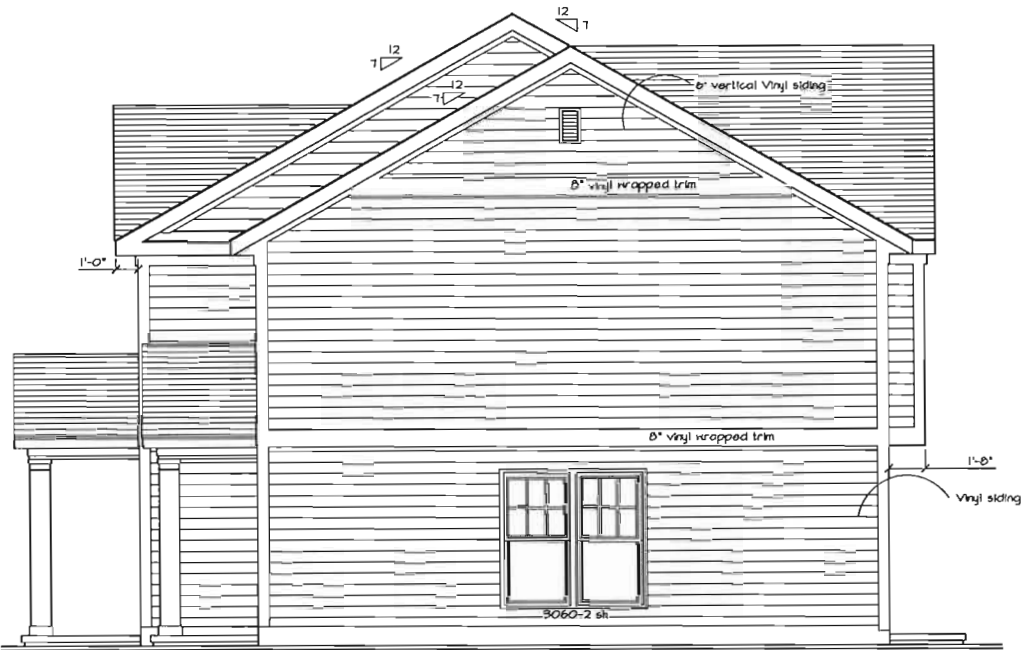
STATE OF OHIO

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David Johnson License # 9158

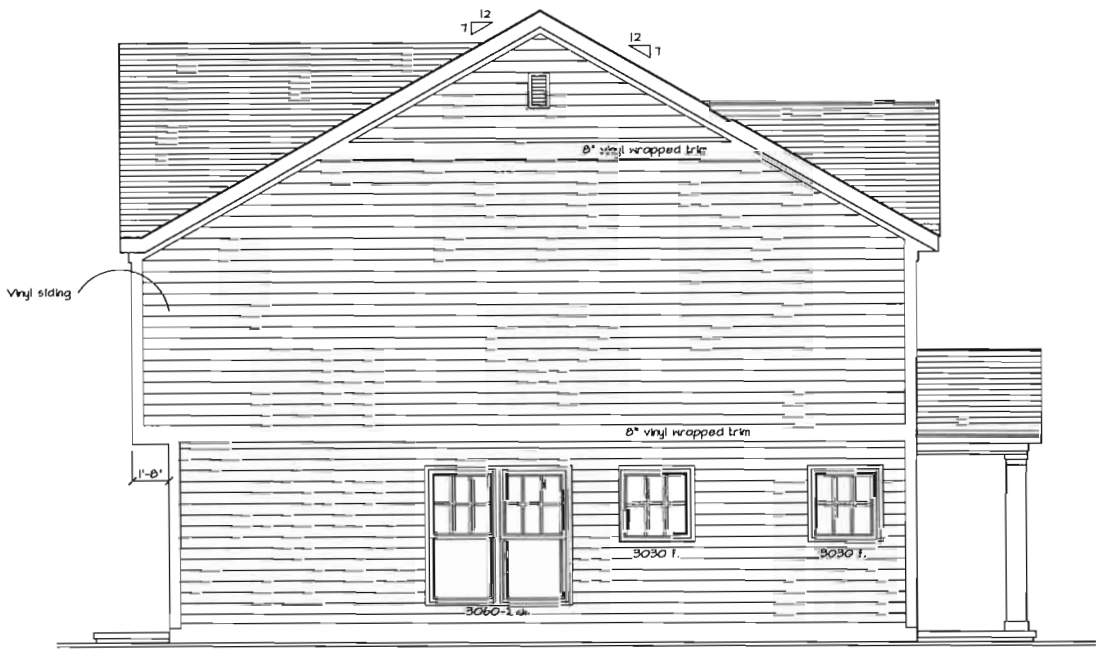
Expiration Date 12-31-23



**B** Right SIDE ELEVATION  
A2.1 Scale: 1/4" = 1'-0"



**C** Rear ELEVATION  
A2.1 Scale: 1/4" = 1'-0"



**D** Left SIDE ELEVATION  
A2.1 Scale: 1/4" = 1'-0"



**A** FRONT ELEVATION  
A2.1 Scale: 1/4" = 1'-0"

NOTE UNO:  
-ALL HEADERS TO BE:  
4" OR LESS.....(2) 2X8's  
4" - 5'6".....(2) 2 X10's  
GREATER OR EQ. TO 5'7" (2) 2X12'S  
ALL GIRDER TRUSS  
BEARING PTS. (3) 2X4  
6IN COL UNO.

Note:  
The exterior walls of this structure are continuously sheathed with 1/2" or 5/8" OSB to comply with the brace requirements using method C5-105F. Any wall areas that require alternate bracing methods (see garage narrow wall detail this page) and labeled w/ the specific method req'd. This sheathing shall extend 4" be attached to the sill cap plates of the walls. The sill plates shall be anchored to the foundation wall w/ a min. of 1/2" dia. bolts spaced no more than 6'-0" o.c. or 1/2" dia. expansion bolts @ 4' o.c. These anchor bolts shall be located between 6" & 12" from the corner on either side of doors that have a threshold below the sill plate. Per method C5-105F all horiz. joints in the sheathing will be blocked to accommodate the code specified fastening require:  
6" o.c. @ the edges & 12" o.c. in the interior of the panels using 16d common nails  
Any truss heels over 1 1/4" will have OSB extended up to within 2" of the underside of the rafter tail and fastened in the same manner  
Truss heel sheathing must span across the top plate/truss connection & extend down the wall a least 24" & the same horizontal blocking must be provided between the trusses for nailing as specified above.

Contractor: Stoneworks LLC  
contact: Bryan Lewis cell 740-975-6252  
Laverne Apartments  
204 Laverne Newark, OH  
3/2 BR Bedroom Hybrid Duplex Apt. Building

C. David Johnson

A.I.A.

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Columbus, OH 43214

3-6-22 revised, 1/4" layouts review set

A3.0

Elevations

scale: 1/4" = 1'-0"